

TOWN OF ROCKLAND
ZONING BOARD OF APPEALS
APPLICATION FOR A PUBLIC HEARING

SECTION 1:

A. I/We hereby apply for a public hearing before the Zoning Board for the following:
(Check all that are applicable)

- ☒ Application for Dimensional Variance
☐ Application for a Use Variance
☐ Application for a Section 6 Finding
☐ Special Permit for Use permissible by Special Permit
☐ Appeal from a Decision of the Zoning Enforcement Officer
☐ Comprehensive Permit (Chapter 40B)

SECTION 2:

B. Answer all of the following questions that pertain to your application:

1. Address of the property in question: 48 Pine Haven Circle
2. Name(s) of Owner(s) of Property: Joseph + Randi Laflamme
3. Owner's Address: 48 Pine Haven Circle Rockland Ma
02370
4. Name of Applicant(s): Randi Laflamme
5. Address of Applicant: 48 Pine Haven Circle
Rockland, Ma 02370
6. Applicant's Phone: Home: 781-982-3524 Work: _____
Cell: 781-264-7248 Fax: _____
E-Mail: rlaflamme225@gmail.com
7. State the Assessor's Map # 1 and Lot # 24 of the property.
8. State the Zoning District in which the property is located: R2
9. Explain in-depth what you are proposing to do:
Please see attached labeled Quest 9

10. Describe in detail any existing variance(s) or special permit(s) pertaining to this property. Copy/copies must be obtained at the Town Clerk's Office and must be attached to this application:

no existing variance or
special permits

11. List all applicable sections of the Zoning Bylaw that pertains to this application:

415-24
415-22

12. If you are applying for a dimensional variance, state in detail any specific condition that effects the shape, soil, topography or structures on your lot that specifically effects your lot and does not effect the zoning district as a whole, and why these conditions cause a hardship to the land that warrants the granting of a variance (use a separate piece of paper if necessary)

See attached labeled question #12

13. If this is an application for a special permit, describe in detail the permit you are seeking and provide the Board with specific information as to how the proposed use will meet the Performance Standards of the Zoning By-Laws of Rockland:

N/A

Rockland Zoning Board Application
Page 3 of 3

14. If this is an appeal from a decision of the Zoning Enforcement Officer, state in detail the grounds upon which you claim that the Zoning Enforcement Officer/ Building Inspector's decision was in error.

N/A

Signed: _____

Randi Lapierre 10/11/2020

Owner(s) of Record

All owners must sign

Signed: _____

Joseph Lapierre 10/11/2020

Applicant(s) If Different from owner

All applicants must sign

Signed: _____

Signature of Attorney (if any)

Date: _____

October 11, 2020
Joseph & Randi Laflamme
Zoning Board of Appeals Application for a Public Hearing
48 Pine Haven Circle
Rockland, Ma 02370

Question # 9

Explain in-depth what you are proposing to do:

We purchased 48 Pine Haven Circle in Rockland because we have lived with family, in the neighborhood for the past few years and we want our children to stay close to their family and friends. We have lived in Rockland for 20 years and we want to stay and continue to be part of the community. We have been searching for a house for a long time and this neighborhood is our home with our friends and family. We are proposing to make the current house 2400 sq ft in total to accommodate our family. The work we would like to do is in line with the current feel of the 15-home street and we believe our proposed renovations will require less variances than a couple of houses have needed for work they have completed. We have shared the proposed plans with many of our neighbors and they support the work. (see letters). Specifically, we are hoping to have 3 variances approved

1. Addition of the garage would require a 9'8" variance. The required side set back is 15' and the proposed plan would require the variance. We have talked to the neighbor who abuts the left where the garage will be located and he is supportive
2. The front set-back is 25 feet and addition of a porch would require a variance of 8'4" (The original plan of the street in 1956 has the street much further away from the house). The house diagonally across the street and directly across the street both received variances for their added porches and our proposed porch is consistent with the neighborhood.
3. The required right-side set back is 15' and our proposed renovation would require a variance of 8'7" for a rear deck. We spoke to the neighbor directly to the right and she is also supportive of the proposed plan.

Question # 12

If you are applying for a dimensional variance, state in detail any specific condition that effect the shape, soil, topography, or structures on your lot that specifically effects your lot and does not affect the zoning district as a whole, and why these conditions cause a hardship to the land and warrants a granting of the variance.

The Pine Haven Circle neighborhood was built in 1956 prior to the current zoning. Most, if not all the lots have only 70' of frontage, and most if not all properties have less square footage and less than the 25' set back to the street that is required under zoning enacted after the neighborhood was built. Most of the homes in the neighborhood are pre-existing non-conforming. Because the neighborhood was developed in the 1950's the smaller size of our lot and location of the structure on the lot limit our use of the lot unlike other lots in the R-2 zoning district as a whole. The updates we are proposing would allow our family to stay in Rockland and add value to the neighborhood. There are currently only 2 bedrooms and a half bath on the second floor, and we need 4 bedrooms in total for our family. The proposed plans are in line with the current development in the neighborhood, seeks no more variance than other houses in our neighborhood and will add value to the other homes on the street.

- The garage addition is consistent with work that has been done to at least 3 of the 15 homes.
- The additional square footage will allow us to add the much-needed bedrooms to the second floor.
- The Front Porch addition is in line with 2 homes on the street who also did not meet the setback requirement and were granted variances.



TOWN OF ROCKLAND

Board of Assessors

Town Hall
242 Union Street
Rockland, Massachusetts 02370

September 29, 2020

CERTIFIED ABUTTERS LIST OF MAP 1 – PARCEL 24

48 PINE HAVEN CIRCLE

BOARD – ZBA

REQUIREMENTS – Abutters, next abutter within 300 ft and directly across a public or private street or way.

CERTIFIED BY:

Chrissi MacPherson
Chrissi MacPherson – Senior Administrative Assist

Parcel ID	Owner	Location	Mailing Street	Mailing City, ST, Zip
1-24	LAFLAMME JOSEPH W & RANDI	48 PINE HAVEN CIR	48 PINE HAVEN CIR	ROCKLAND, MA 02370
1-15	COMMAN DOUGLAS E & CHERYL R	31 PINE HAVEN CIR	31 PINE HAVEN CIR	ROCKLAND, MA 02370
1-16	SHEEHAN JAMES MERRY JANE ELAM	51 PINE HAVEN CIR	51 PINE HAVEN CIR	ROCKLAND, MA 02370
1-20	CARLIER LISA TRUSTEE JKL TRUST	78 PINE HAVEN CIR	78 PINE HAVEN CIR	ROCKLAND, MA 02370
1-21	PELLETIER BARRY L & LORRAINE B	72 PINE HAVEN CIR	72 PINE HAVEN CIR	ROCKLAND, MA 02370
1-22	BEBERMAN JOSEPH	60 PINE HAVEN CIR	60 PINE HAVEN CIR	ROCKLAND, MA 02370
1-23	CUSHMAN GEORGE J & KATHY G	54 PINE HAVEN CIR	54 PINE HAVEN CIR	ROCKLAND, MA 02370
1-25	WHEELER KATHLEEN & MARK	32 PINE HAVEN CIR	32 PINE HAVEN CIR	ROCKLAND, MA 02370
1-26	MORGAN WILLIAM SANCHEZ-MORGAN NURIA	38 PINE HAVEN CIR	38 PINE HAVEN CIR	ROCKLAND, MA 02370
1-33	HINGHAM WATER CO C/O TOWN OF HINGHAM	0 GARDNER ST	210 CENTRAL ST	HINGHAM, MA 02043
1-35	DAVIES MICHAEL P & ANGELA R	0-REAR GARDNER ST	1 MINUTEMAN RD	HINGHAM, MA 02043

Planning Boards: Rockland, Abington, Whitman, Norwell, Hanson, Hanover, Hingham & Weymouth:

Rockland Board of Assessors (Notice of decision only)

The above constitutes a complete list of all parties in interest as found in the most recent tax list, pursuant to Chapter 40A, Section 11, of the General Law.

PROGRESS PRINT: NOT FOR CONSTRUCTION

LAFLAMME RESIDENCE

48 PINE HAVEN CIRCLE

ROCKLAND, MA 02370

ANY DEVIATION FROM THESE PLANS
REQUIRES ROCKWOOD DESIGN, INC.
TO ACQUIRE STRUCTURAL REDESIGN FOR
BUILDING DEPARTMENT SIGN-OFFS WILL BE
BILLED TO CLIENT ON AN HOURLY BASIS

PLEASE REFER TO ENGINEERING PACKET
FOR ALL STRUCTURAL DETAILS

SEE SHEET A1 FOR DRAWING INDEX

IF PRINTED ON 11X17, ALL SCALE IS HALF

CONTRACTOR TO VERIFY ALL DIMENSIONS
AND SETBACKS PRIOR TO CONSTRUCTION

OWNER

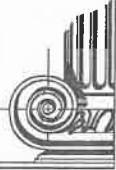
JOE AND RANDI LAFLAMME
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370
RANDI: RLAFLAMME@GMAIL.COM

DESIGNER

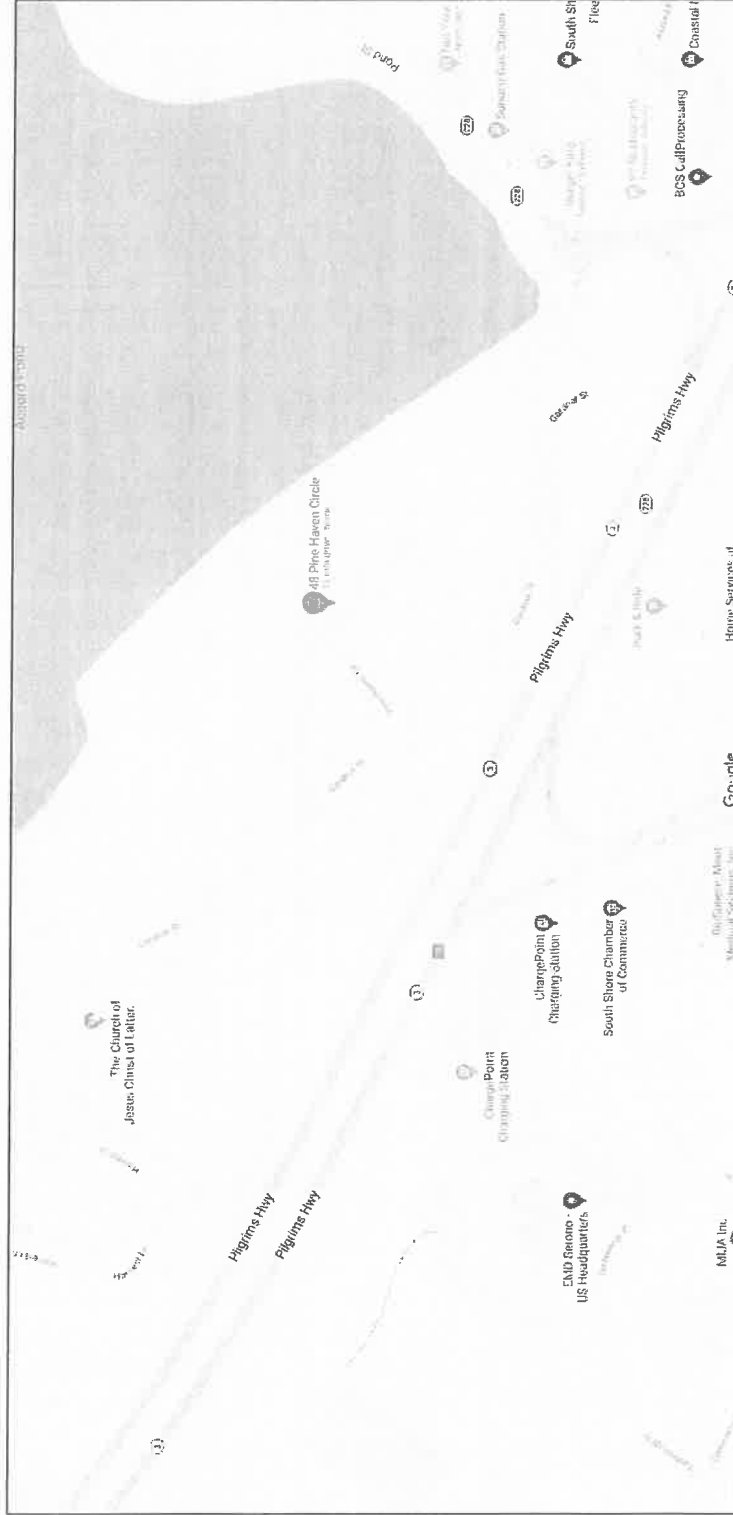
ROCKWOOD DESIGN, INC.
1020 PLAIN STREET - SUITE 320
MARSHFIELD, MA 02050
PHONE: (781) 837-3140
FAX: (781) 837-3126
EMAIL: INFO@ROCKWOODDESIGN.COM
WEBSITE: WWW.ROCKWOODDESIGN.COM

STRUCTURAL ENGINEER

Rockwood
Design, Inc.
1020 Plain Street - Suite 320
Marshfield, MA 02050
Phone: (781) 837-3140
Fax: (781) 837-3126
Email: info@rockwooddesign.com
Website: www.rockwooddesign.com



PROGRESS SET - 5/12/2020



LOCUS MAP

PROGRESS PRINT: NOT FOR CONSTRUCTION

PROGRESS PRINT: NOT FOR CONSTRUCTION

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(FC) PERPENDI
ELASTICITY (E) =

- [illegible]

19. ALL NAMES, PLEASE

16. ALL LUMBER TH

FLOOR PLAN LEGEND:	
WALL TO BE DEMOLISHED	
EXISTING STUD WALL	
PROPOSED STUD WALL	
OBJECT ABCD/E	
OBJECT BELOW	

PROPOSED SQUARE FOOTAGE NOTE	
FIRST FLOOR LIVING AREA	* 1,316 SF
SECOND FLOOR LIVING AREA	* 1,346 SF
BASEMENT LIVING AREA	* 460 SF
TOTAL LIVING AREA	* 3,024 SF

[illegible][illegible]

- PLEASE REFER TO ENGINEERING PACKET FOR ALL MATERIALS AND METHODS. NO DISCREPANCY TO BE ALLOWED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
1. NO FILLING SHALL BE PLACED IN A LOWER BEARING CAPACITY THAN THAT OF THE FILL BEING REMOVED. THE TYPE OF FILL TO BE PLACED SHALL BE APPROVED BY THE ENGINEER/IN-CHARGE AND REPLACED WITH NATURAL MATERIAL TO BE APPROVED BY THE ENGINEER/IN-CHARGE.
2. THE SLOANER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF SUBSURFACE CONDITIONS.
3. NO FOUNDATION SHALL BE PLACED IN WATER OR ON FROZEN GROUND.
4. FOOTINGS SHALL BE PROTECTED AGAINST FLOODS UNTIL PROJECT IS COMPLETED.
5. BACKFILL UNDER ANY PORTION OF THE FOOTINGS AND SLABS SHALL BE COMPACTED IN 6" LIFTS MAX.

ALLOWABLE MODULUS OF

4. CONCRETE (KANSASMAN MIX) AND FORMING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. AT 28 DAYS AND SHALL P.S.I. FOR SLABS WITH A SLUMP OF NO MORE THAN 3" AND AIR CONTENT OF 6% TO 8% FOR SLABS WITH A SLUMP OF MORE THAN 3". NO REINFORCING SHALL BE PERMITTED WITHOUT PROTECTION FROM HEAT IN COLD WEATHER AND FROM CORROSION IN WARM WEATHER.
5. STEEL REINFORCEMENT SHALL CONFORM TO A 7 X 11 M. GRADE 40.
10. ALL CONCRETE SLABS ON OR ABOVE SHALL BE REINFORCED WITH #4-12 @ 12" IN) SPACED BARS PLACED AT 12" ON TOP, OR 3" OTHERWISE SHOWN ON THE DRAWINGS. WELDED IRON TIE BARS SHALL BE USED TO ATTACH REINFORCING TO FORMS. REINFORCING SHALL BE WELDED TOGETHER TO A LARGER, AND SHALL BE BUNDLED TOGETHER TO PROVIDE SUFFICIENT CHAIR OR SUPPORT BARS AS NECESSARY TO POSITION WELDED IRON TIE BARS.
11. REINFORCING BARS ARE CALLED FOR THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS AND UNLAPPED CORNERS. UNLAPPED CORNERS ARE REQUIRED AT POINTS WHERE AN ANGLE OF 90 DEGREES WILL BE USED. CORNERS, UNLAPPED CORNERS SHOWN.
12. NOTIFY BUILDING DEPARTMENT FOR INSPECTION OF COMPLETED INSTALLATION OF REINFORCEMENT AT LEAST 14 HOURS PRIOR TO SCHEDULED PLACEMENT OF CONCRETE.
13. PLACEMENT OF CONCRETE POURS FOR FOUNDATION WALLS SHOULD HAVE A VERTICAL 1/4" KEY WITH REINFORCING BARS PLACED AT 12" ON TOP OF THE FOUNDATION WALL.
14. ALL REINFORCING BARS SHALL BE COLD BENT IN ACCORDANCE WITH THE REINFORCING SCHEDULE BY THE AMERICAN CONCRETE INSTITUTE UNDER NO COLDING SHALL BE APPLIED TO THE BARS TO OBTAIN ENDS.
15. THE USE OF CONTROL JOINTS IN THE SLAB IS NOT RECOMMENDED TO CONTROL CRACKING. SHALL CUT TO A MINIMUM OF 1/4" AND NOT MORE THAN 1/2" DEEP.

DO NOT OPEN

WIRE TREATED

FOUNDATION NOTES/LEGEND:

- 1) SEE STRUCTURAL ENGINEERING AND WORK ANALYSTS' COMMENTS FOR REINFORCEMENT DETAILS
- 2) ALL WALL FOUNDATION WALLS SHALL BE JUMP PROTECTED WITH A MINIMUM GRADING
- 3) 4 TO 7' OF VERTICAL REINFORCES FOR EVERY 1.500 SQ FT OF BASEMENT AREA
- 4) ORANGE FOR EXTERIOR WALL PENETRATION
1 TO 7' FT, ORANGE/WHITE FOR 1' OF CRACK SPACE AREA
- 5) DIAPHRAGM FOUNDATION WALL
TO BE DEPENDABLE
- 6) DIAPHRAGM FOUNDATION WALL
- 7) DIAPHRAGM PROTECTED

DENSITIES, PROPERTIES

FOUNDATION WALL WIDTHS: 10'0" WALL, 10'0" WALL, 10'0" WALL

DENOTES ARCHITECTURAL BUILDING SECTION

DENOTES DETAIL IN "STRUCTURAL ELEMENTS" BOOKLET BY STRUCTURAL ENGINEER

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
-
- PER SQUARE FOOT ARE
- ALL MATERIAL SHALL BE REMOVED
- REINFORCEMENT
- FACE CONDITIONS
- ETED
- CONTRACTED IN LISTS ON 955

- [illegible]

LYTES®
 100% CRYSTALLINE
 100% PETALS

IN ACCORDANCE WITH MANUFACTURERS
 OF MASSACHUSETTS AND CHR

METAL WANDERS

STEEL BEAM

LVA BEAM

BEARING WALL

BEARING WALL ABOVE

EXISTING FRAMING

PROPOSED FRAMING

SMOKE DETECTION

SMOKE/CO₂

HEAT SMOKE

PROGRESS PRINT: NOT FOR CONSTRUCTION

ANY DEVIATION FROM THESE PLANS
REQUIRING ROCKWOOD DESIGN INC.
TO ACQUIRE STRUCTURAL REVISION FOR
BUILDING DEPARTMENT SIGN-OFFS WILL BE
BILLED TO CLIENT ON AN HOURLY BASIS

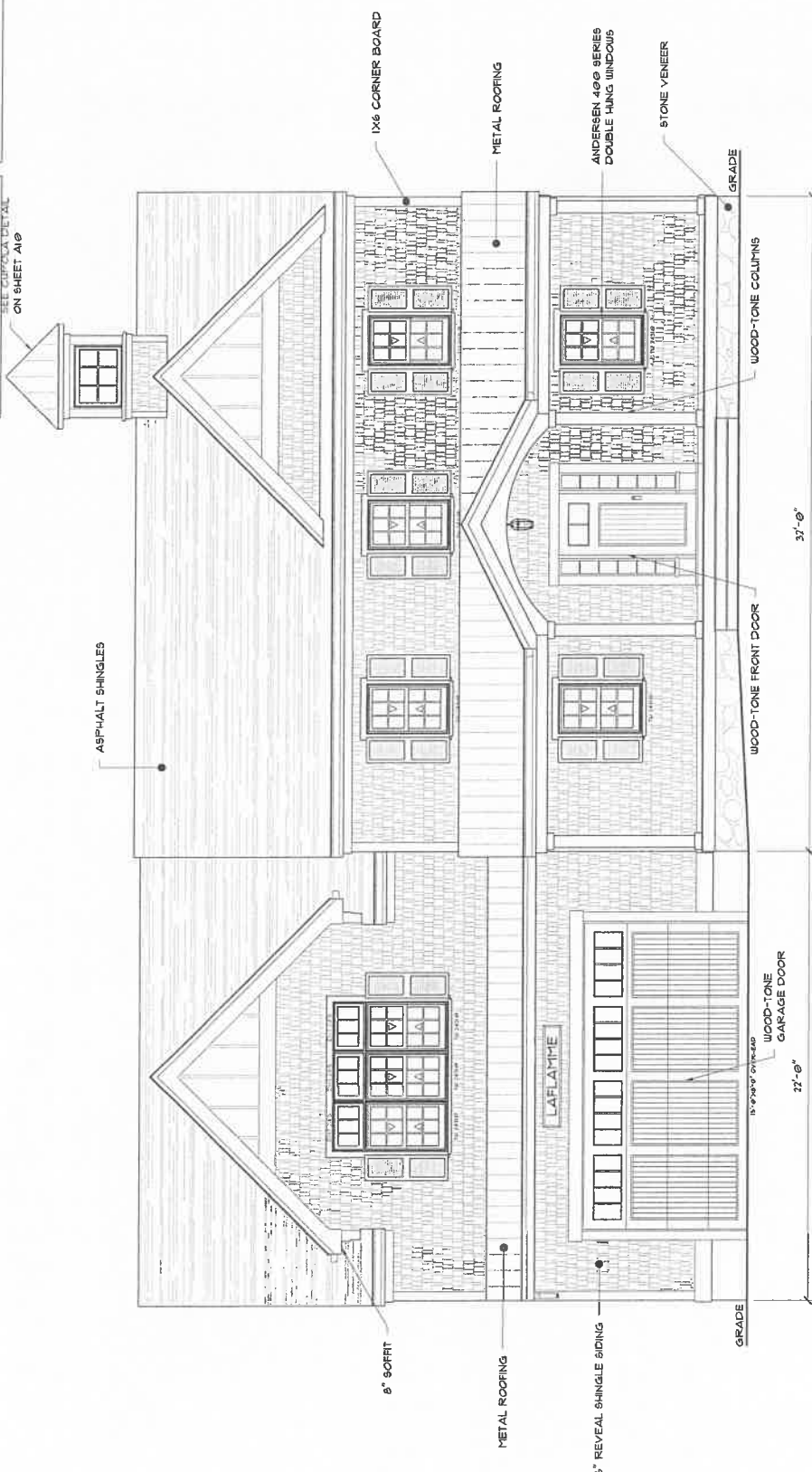
PLEASE REFER TO ENGINEERING PACKET
FOR ALL STRUCTURAL DETAILS

SEE CUPOLA DETAIL
ON SHEET A10

SEE SHEET A1 FOR DRAWING INDEX

IF PRINTED ON 11X17, ALL SCALE IS HALF

CONTRACTOR TO VERIFY ALL DIMENSIONS
AND SETBACKS PRIOR TO CONSTRUCTION



PROPOSED FRONT ELEVATION
SCALE: 3/8"=1'-0"

PROGRESS PRINT: NOT FOR CONSTRUCTION

PROPOSED FRONT ELEVATION

PROJECT
JOE AND RANDI LAFAMME
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02310

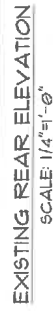
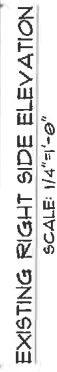
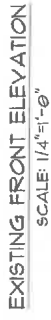
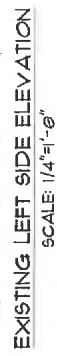
Rockwood
Design, Inc.
1020 Pine Street
Pawtucket, RI 02860
Phone: (401) 737-3140
Fax: (401) 737-3140
www.rockwood-design.com

DATE: 5/22/2020
DRAWN BY: JLD
CHECKED BY: JLD
SCALE: AS NOTED

A2
of A12

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ANY DEVIATION FROM THESE PLANS REQUIRING ROCKWOLD DESIGN INC. TO CONSIDER A STRUCTURAL REVISION FOR THE PROJECT WILL BE CHARGED AND BE BILLED TO CLIENT ON AN HOURLY BASIS.	SEE SHEET #1 FOR DRAWING INDEX
PLEASE REFER TO ENGINEERING PACKET FOR ALL STRUCTURAL DETAILS	IF PRINTED ON 11X17, ALL SCALE IS HALF
CONTRACTOR TO VERIFY ALL DIMENSIONS AND SETBACKS PRIOR TO CONSTRUCTION	



PROGRESS SET - 5/22/2020

FILE
EXISTING EXTERIOR ELEVATIONS

Project:
JOE AND RANDI LAFAMME
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

Rockwood Design, Inc.
1020 Plain Street — Suite 320
Marshall, MA 02030
Phone: (781)-637-3140
Fax: (781)-637-3126
Email: info@rockwooddesign.com
Website: www.rockwooddesign.com

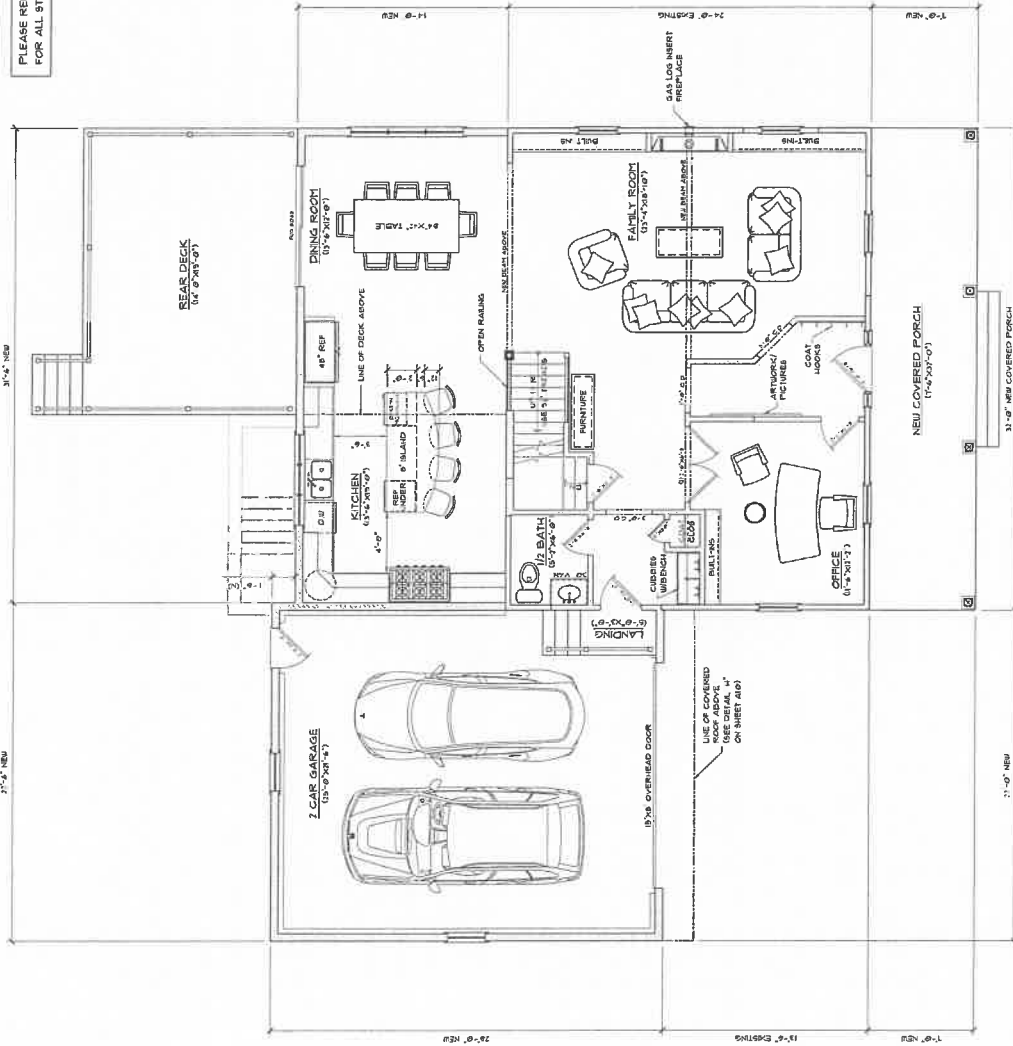


DATE	RECEIVED BY
NAME	RECEIVED BY
DATE	RECEIVED BY

A2.1 OF A12

THE UNIVERSITY OF CHICAGO LIBRARY
540 EAST 58TH STREET
CHICAGO, ILL. 60637
TEL: 773-936-3700
FAX: 773-936-3701
WWW.CHICAGO.LIBRARY.EDU

PROGRESS PRINT: NOT FOR CONSTRUCTION



PROPOSED FIRST FLOOR PLAN
SCALE 1/4"=1'-0"
(AREA 1,216 FT²)

ANY OR-MADE FROM THESE PLANS
REQUIRING ROCKWOOD DESIGN, INC.
TO ACQUIRE STRUCTURAL DESIGN AND
BUILDING DEPARTMENT SIGN-OFFS WILL BE
BILLED TO CLIENT ON AN HOURLY BASIS

SEE SHEET A1 FOR DRAWING INDEX

IF PRINTED ON 11X17, ALL SCALE IS HALF

CONTRACTOR TO VERIFY ALL DIMENSIONS
AND SETBACKS PRIOR TO CONSTRUCTION

PLEASE REFER TO ENGINEERING PACKET
FOR ALL STRUCTURAL DETAILS

PROGRESS SET - 5/22/2020

A3
or A12

DATE: 5/22/2020
DRAWN BY: J. LAMAYNE
CHECKED BY: J. LAMAYNE
SCALE: 1/4"=1'-0"

Rockwood
Design, Inc.
1022 PINE HAVEN CIRCLE
ROCKLAND, MA 02370
TEL: (508) 437-1210
FAX: (508) 437-1210
WWW.ROCKWOODDESIGN.COM

PROJECT:
JOE AND RANDI LAMAYNE
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

PROPOSED FIRST FLOOR PLAN A

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OR ROCKWOOD DESIGN INC. FOR
REVISIONS, THE ARCHITECTURE FIRM
BUILDING DEPARTMENT SIGN-OFF SHALL
BE FILED TO CLIENT ON AN HOURLY BASIS.

SEE SHEET A1 FOR DRAWING INDEX

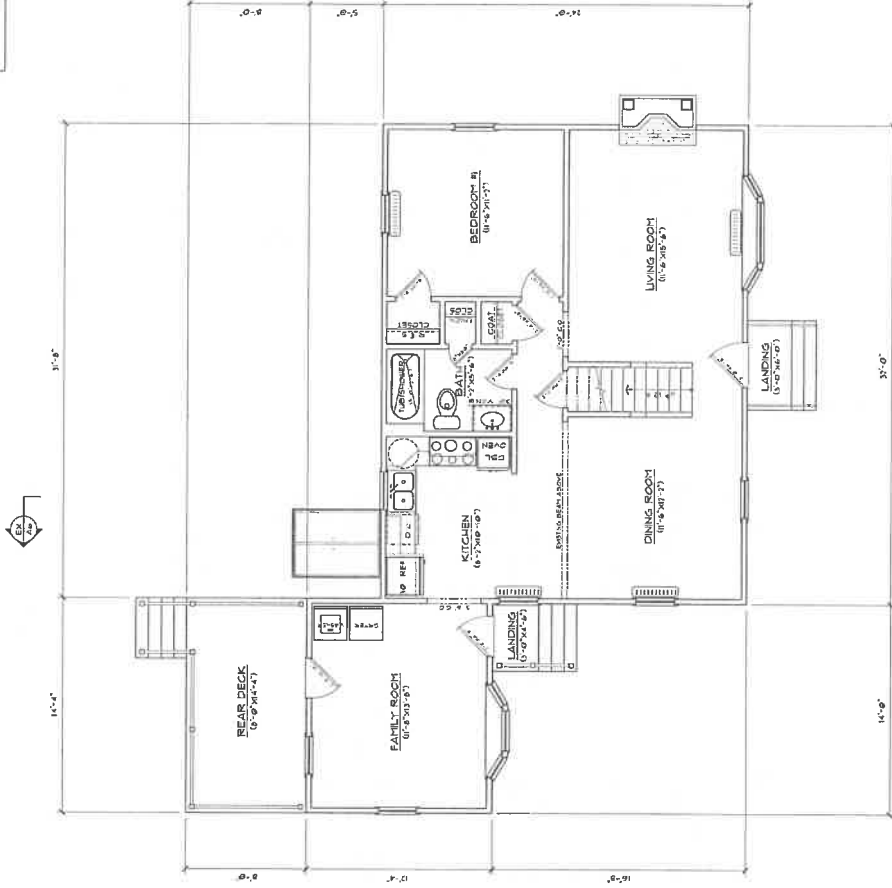
PLEASE REFER TO ENGINEERING PACKET
FOR ALL STRUCTURAL DETAILS

CONTRACTOR TO VERIFY ALL DIMENSIONS
AND SETBACKS PRIOR TO CONSTRUCTION

1/4" = 1'-0"

DATE: 5/11/2020

PROJECT: EXISTING FIRST FLOOR PLAN



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
(AREA: 942 FT²)

PROGRESS PRINT: NOT FOR CONSTRUCTION

PROJECT: JOE AND RANDY LAFAYETTE
435 PINE HAVEN CIRCLE
ROCKLAND, MA 02390

Rockwood Design, Inc.
1033 Pine Street
Beverly, MA 02309
Phone: (781) 431-1122
Fax: (781) 431-3128
Mobile: www.rockwooddesign.com

DATE: 5/11/2020
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 1/4" = 1'-0"

A3.1
of A12

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PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
(AREA: 1,348 FT²)

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BUILDING DEPARTMENT SIGN-OFFS WILL BE
BILLED TO CLIENT ON AN HOURLY BASIS

PLEASE REFER TO ENGINEERING PACKET
FOR ALL STRUCTURAL DETAILS

SEE SHEET A1 FOR DRAWING INDEX

IF PRINTED ON 11X17, ALL SCALE IS HALF

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AND SETBACKS PRIOR TO CONSTRUCTION

PROGRESS SET - 5/22/2020

PROJECT
JOE AND RANDI LAPLANTE
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

Rockwood
Design, Inc.
1023 Rockwood
Boulevard
Rockland, MA 02370
Phone: (781) 333-3140
Fax: (781) 333-3140
Email: info@rockwooddesign.com

DATE
REVISION
BY
CHECKED BY
SCALE
AS NOTED

A4
A12

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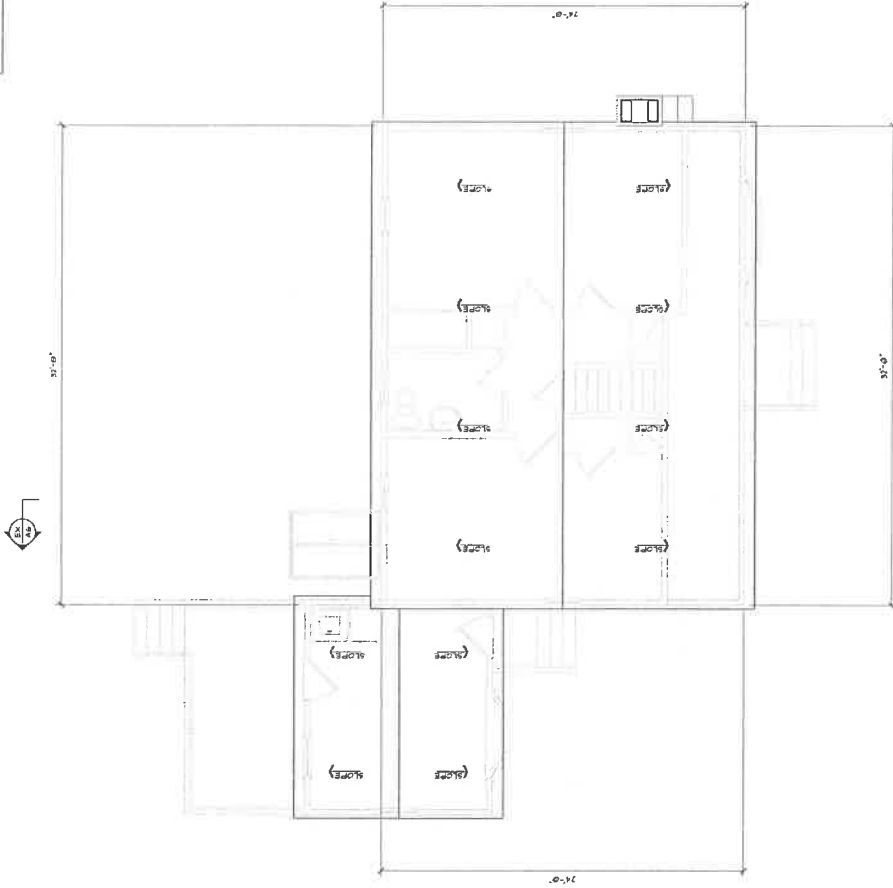
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EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"

PROGRESS PRINT: NOT FOR CONSTRUCTION

TITLE
EXISTING ROOF PLAN

PROJECT
JOE AND RANDI LAPLAHNE
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02310

Rockwood
Design, Inc.
1020 PINE HAVEN CIRCLE
ROCKLAND, MA 02310
PHONE (508) 837-1110
FAX (508) 837-1111
WWW.ROCKWOODDESIGN.COM



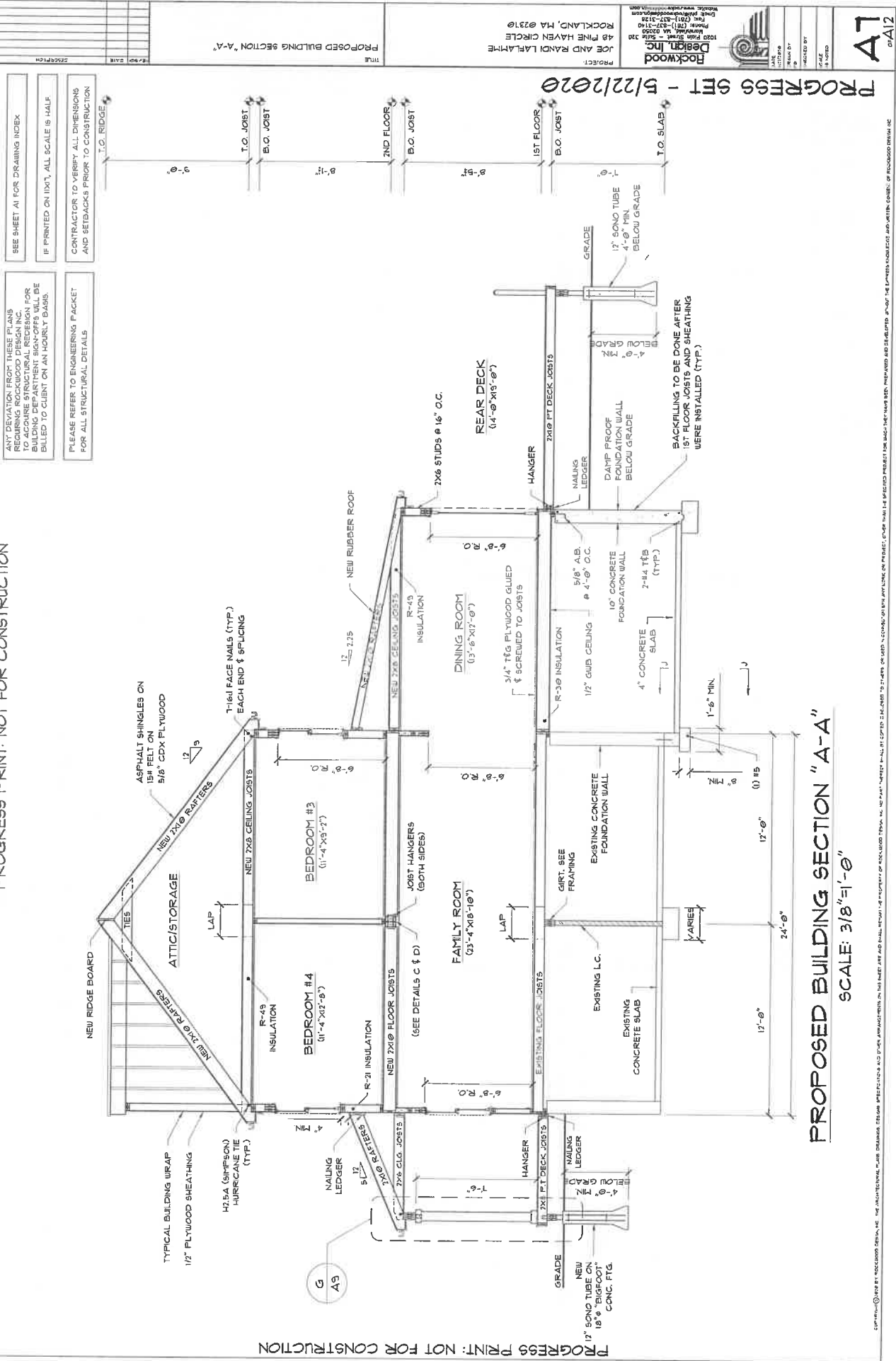
DATE
1/1/2020
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CHECKED BY
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SCALE
1/4"=1'-0"

A5.1
OF A12

PROGRESS SET - 5/22/2020

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PROPOSED BUILDING SECTION "A-A"
SCALE: 3/8"=1'-0"

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FOR THE PROPOSED BUILDING SHALL BE
THE RESPONSIBILITY OF THE CONTRACTOR.
BUILDING DEPARTMENT SIGN-OFFS WILL BE
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CONTRACTOR TO VERIFY ALL DIMENSIONS
AND SETBACKS PRIOR TO CONSTRUCTION

SEE SHEET A1 FOR DRAWING INDEX

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PROGRESS SET - 5/12/2020

PROJECT: JOE AND RANDY LAFLANE
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

Rockwood Design, Inc.
1000 Main Street, Suite 200
Rockland, MA 02370
Phone: (978) 437-1130
Fax: (978) 437-1132
Email: info@rockwooddesign.com

DATE: 5/12/20
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A12

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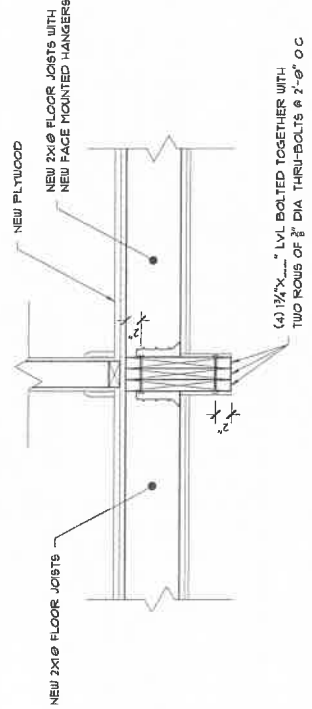
ANY DEVIATION FROM THESE PLANS
FOR CONSTRUCTION SHALL BE
THE RESPONSIBILITY OF THE
CONTRACTOR. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
OBTAINING ALL NECESSARY
PERMITS AND APPROVALS
FROM THE BUILDING DEPARTMENT.
SIGN-OFFS WILL BE
BILLED TO CLIENT ON AN HOURLY BASIS.

PLEASE REFER TO ENGINEERING PACKET
FOR ALL STRUCTURAL DETAILS.

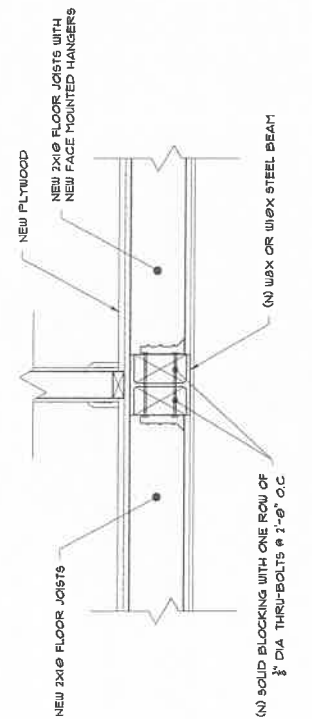
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AND SETBACKS PRIOR TO CONSTRUCTION.

SEE SHEET A1 FOR DRAWING INDEX

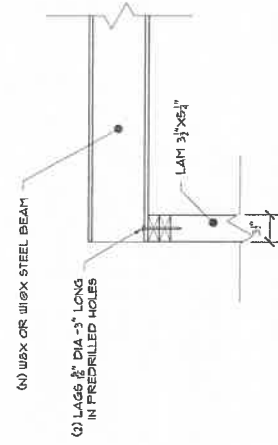
IF PRINTED ON I1X11, ALL SCALE IS HALF



DETAIL SECTION "C"
SCALE: 1 1/2" = 1'-0"



DETAIL SECTION "D"
SCALE: 1 1/2" = 1'-0"



DETAIL SECTION "E"
SCALE: 1 1/2" = 1'-0"

PROGRESS PRINT: NOT FOR CONSTRUCTION

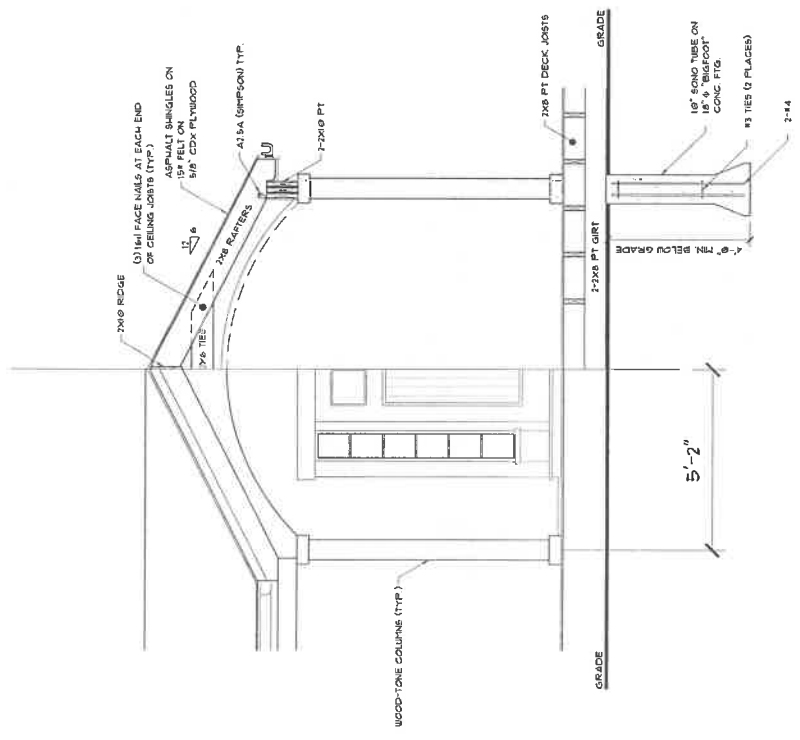
PROGRESS PRINT: NOT FOR CONSTRUCTION

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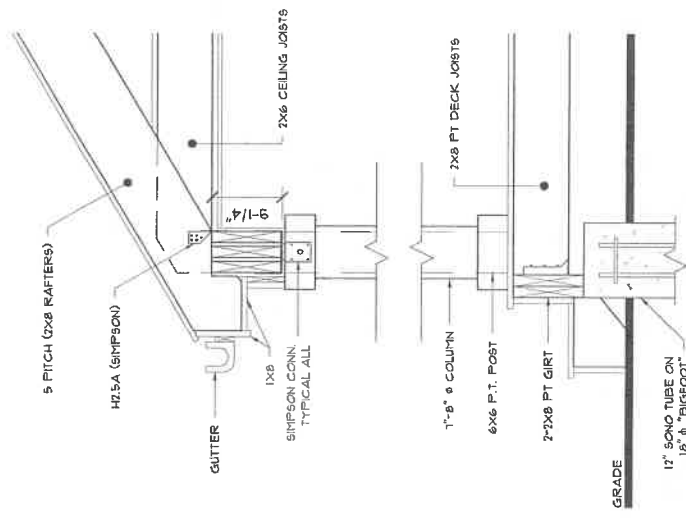
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REMAINING ROCKWOOD DESIGN INC.
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AND SETBACKS PRIOR TO CONSTRUCTION



DETAIL SECTION "F-F"
SCALE: 3/4"=1'-0"



DETAIL "G"
SCALE: 1-1/2"=1'-0"

PROGRESS PRINT: NOT FOR CONSTRUCTION

PROJECT
JOE AND RANDI LALAYNE
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

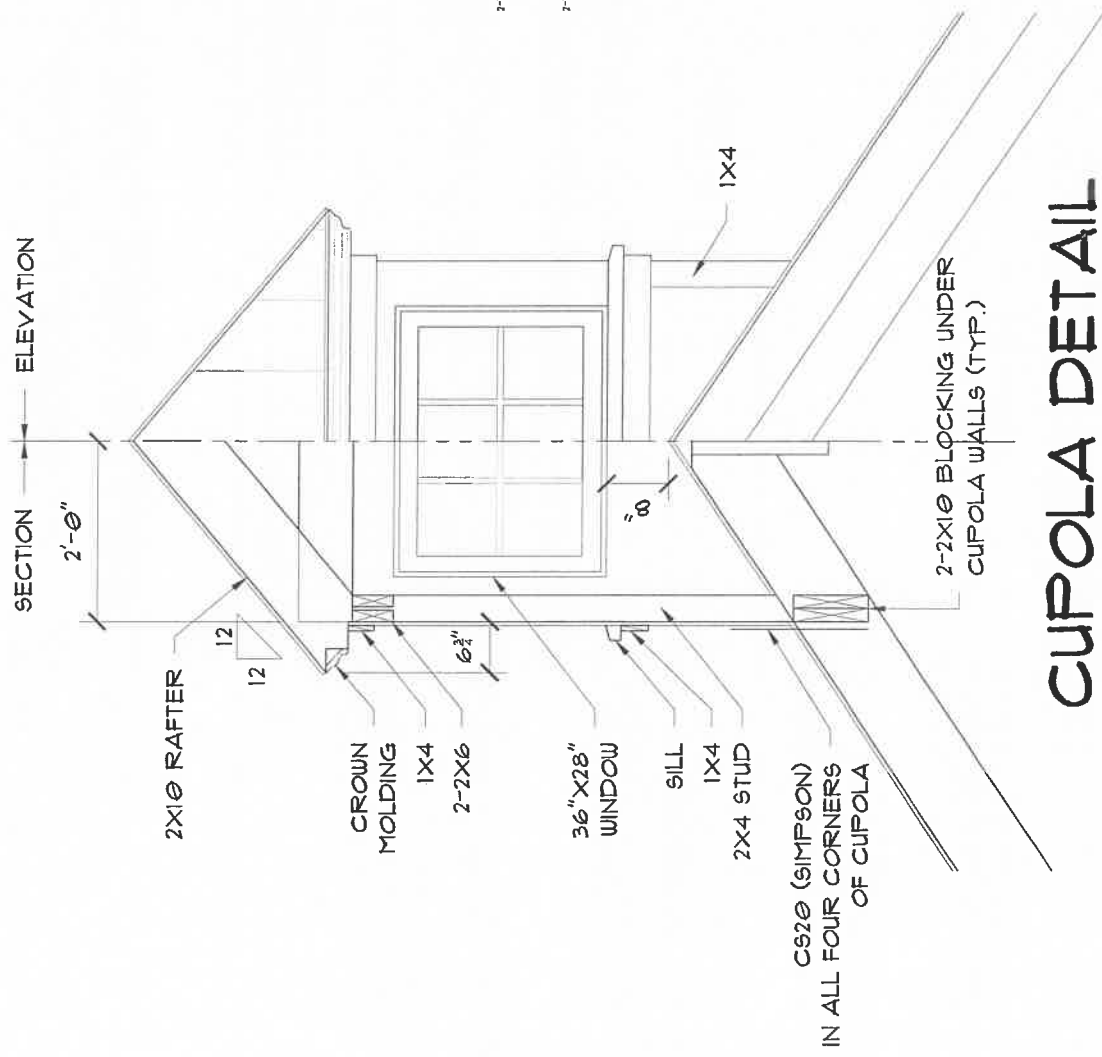
Rockwood
Design, Inc.
1023 Peach Street
Rockland, MA 02370
Phone: (978) 937-1100
Fax: (978) 937-1101
Web: www.rockwoodma.com

DATE
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CUPOLA DETAIL
SCALE: 1-1/2"=1'-0"

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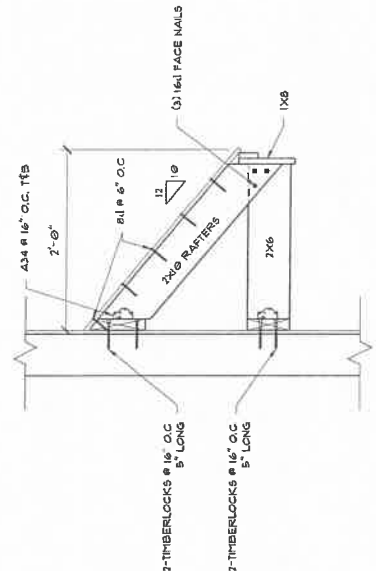
SEE SHEET A1 FOR DRAWING INDEX

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DETAIL SECTION "H"
SCALE: 1-1/2"=1'-0"



PROGRESS PRINT: NOT FOR CONSTRUCTION

THIS
SECTION "H"
CUPOLA DETAIL AND DETAIL

PROJECT
JOB AND RANDI LAFRANKE
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02310

Rockwood
Design, Inc.
1020 Plain Street - Suite 200
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Tel: (508) 723-1198
Fax: (508) 723-1199
Email: info@rockwooddesign.com
Website: www.rockwooddesign.com

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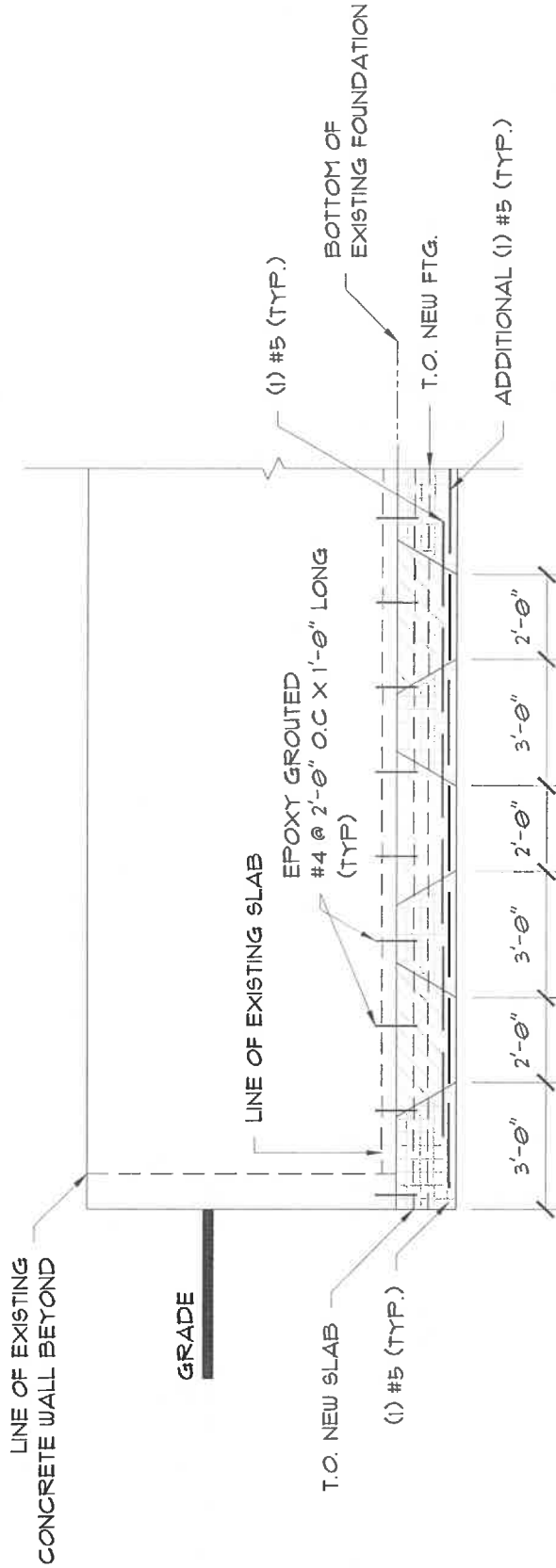
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NOTE:

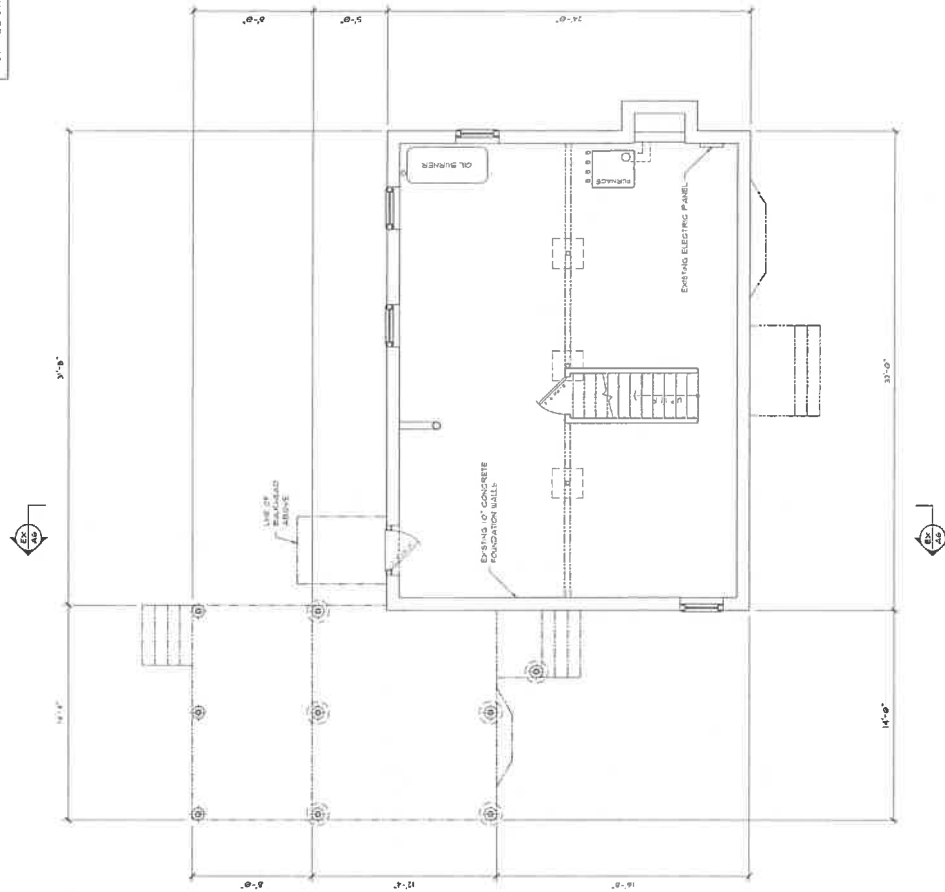
DENOTES PHASE 1 OF
UNDERPINNING -
EXCAVATION AND
CONCRETE FTG. & WALL

DENOTES PHASE 2 OF
UNDERPINNING -
EXCAVATION AND
CONCRETE FTG. & WALL

DETAIL SECTION "J-J"

SCALE: 3/4"=1'-0"

PROGRESS SET - 5/22/2020



EXISTING FOUNDATION PLAN
SCALE: 1/4"=1'-0"
(AREA: 671 FT²)

PROGRESS PRINT: NOT FOR CONSTRUCTION

PROGRESS SET - 5/22/2020

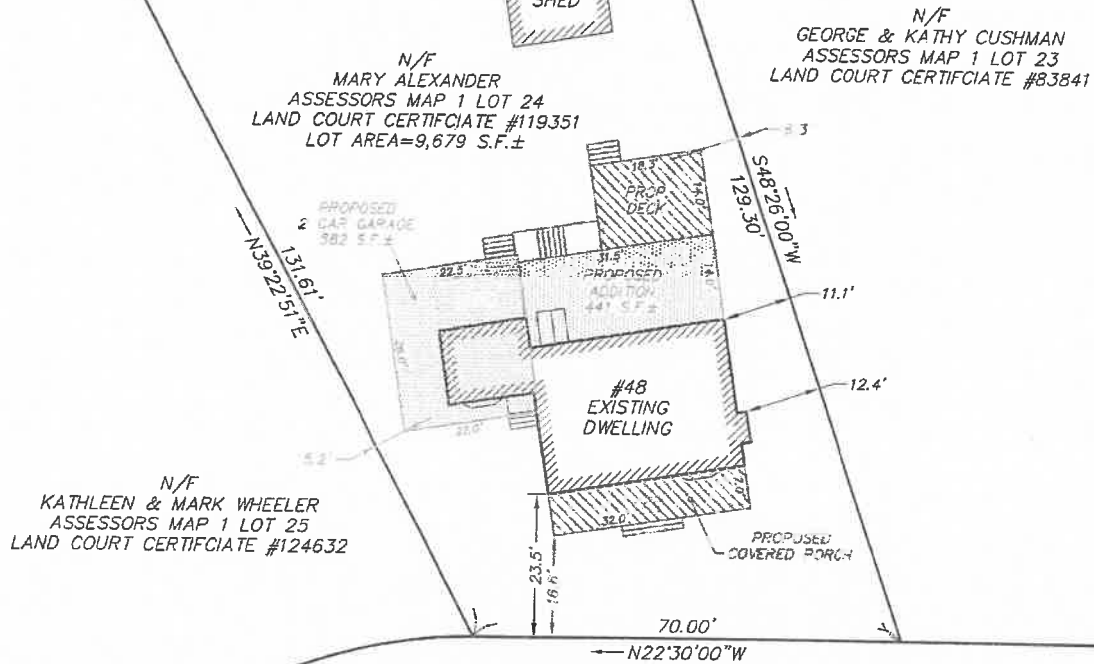
PROJECT: JOE AND RANDI LAFAMME
48 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

Rockwood Design, Inc.
1020 Main Street • Suite 320
Merrifield, MA 02050
Phone: (781)-837-3140
Fax: (781)-837-3128
E-mail: info@rockwooddesign.com
Website: www.rockwooddesign.com

DATE	1/27/2010
TRAILER BY	RB
SUBMITTED BY	
SCALE	AS NOTED

51.1
55

N/F
HINGHAM WATER COMPANY
ASSESSORS MAP 1 LOT 33



PINE HAVEN CIRCLE



Peter G. Hoyt

GRAPHIC SCALE



Sheet Title

PLOT PLAN OF LAND

PERKINS ENGINEERING, INC.

1287 WASHINGTON STREET
WEYMOUTH, MASSACHUSETTS 02189
TEL: 781-749-3600

Project Name
**48 PINE HAVEN CIRCLE
ROCKLAND, MASSACHUSETTS
PLYMOUTH COUNTY**

Scale
1"=20'

Prepared for
JOE LAFLAMME

Date
SEPTEMBER 10, 2020

Fig No

1

September 26, 2020

ROCKLAND ZONING BOARD

242 UNION STREET, ROCKLAND, MA 02370

To Whom it may concern,

Joseph & Randi Laflamme have shown us their proposed plans for improving 48 Pine Haven Circle in Rockland, Ma. We live across the street at 51 Pine Haven Circle and we are in favor of their plans. The improvements keep with the feel of the neighborhood and will be in line with the work that others have done and will continue to do to improve the value of the street. We support the approval of their variances. If you need any other information, please call me at 781-982-0406. Thank you.

SINCERELY,



JIM & MERRY SHEEHAN
51 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

9/21/2020  9/21/2020



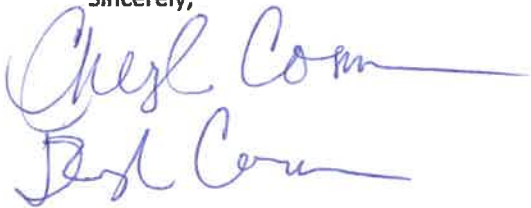
September 25, 2020

Rockland Zoning Board
242 Union Street
Rockland, Ma 02370

To Whom It May Concern,

Joe & Randi Laflamme have shared their plans for 48 Pine Haven Circle with us. We live diagonally across the street at 31 Pine Haven Circle. Joe & Randi are good friends and neighbors and our children are good friends as well. They have been waiting for a house to open on the street for almost 10 years. We are in full support of their design and any variances they need to make this a suitable house for their family. If you need to speak to us, call Doug @ 508-989-6193 or Cheryl @ 508-909-6254.

Sincerely,

The block contains two handwritten signatures in blue ink. The top signature is 'Cheryl Comman' and the bottom signature is 'Doug Comman'. Both are written in a cursive, flowing style.

Doug & Cheryl Comman
31 Pine Haven Circle
Rockland, Ma 02370

September 26, 2020

Rockland Zoning Board
242 Union Street
Rockland, Ma 02370

To Whom It May Concern,

Randi & Joseph Laflamme have shared their plans for 48 Pine Haven Circle with me and I am good with the improvements they want to make. It will add value to our neighborhood. I have no objection to the variances they are looking to have approved.

Sincerely,

A handwritten signature in blue ink, appearing to read "Michelle Gordon". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Michelle Gordon
17 Pine Haven Circle
Rockland, Ma 02370

September 30, 2020

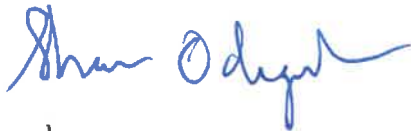
ROCKLAND ZONING BOARD

242 UNION STREET, ROCKLAND, MA 02370

To Whom it may concern,

Joseph & Randi Laflamme have shown us their proposed plans for improving 48 Pine Haven Circle. We live at 18 Pine Haven Circle, 3 houses away. The improvements keep with the feel of the neighborhood and will improve the overall street. We are writing this letter on their behalf to ask that you approve the variances requested so we can keep them in Rockland and in our great neighborhood. If you need to reach us, please call Shane at 617-359-0758 or Mary at 617-869-5024. Thank you.

Sincerely,



SHANE & MARY ODEAARD
18 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

September 30, 2020

ROCKLAND ZONING BOARD
242 UNION STREET
ROCKLAND, MA 02370

To Whom it may concern,

Joseph & Randi Laflamme have shared their proposed plans for improving 48 Pine Haven Circle. I live directly next door at 32 Pine Haven Circle, and I think the work they are proposing will be a great fit for the neighborhood. As their neighbor I have no issue with their plans, and I am ok with the variance that would put their garage closer to my property line. If you need to reach me call me at 781-831-0817.

Sincerely,



MARK WHEELER
32 PINE HAVEN CIRCLE
ROCKLAND, MA 02370

September 26, 2020

Rockland Zoning Board
242 Union Street
Rockland, Ma 02370

To Whom It May Concern,

I am writing this on behalf of Randi and Joseph Laflamme. I have seen their plans to improve 48 Pine Haven Circle. I am their neighbor to the right at 54 Pine Haven Circle and I am in support of the work that they want to do to the house to make it suitable for their family. Please approve their requested variances so they are able to remain on the street with their children. Thank you.

Sincerely,



Kathy Cushman
54 Pine Haven Circle
Rockland, Ma 02370