

TOWN OF ROCKLAND
ZONING BOARD OF APPEALS
APPLICATION FOR A PUBLIC HEARING

SECTION 1:

A. I/We hereby apply for a public hearing before the Zoning Board for the following:
(Check all that are applicable)

- ☐ Application for Dimensional Variance
☐ Application for a Use Variance
☐ Application for a Section 6 Finding
☒ Special Permit for Use permissible by Special Permit
☐ Appeal from a Decision of the Zoning Enforcement Officer
☐ Comprehensive Permit (Chapter 40B)

SECTION 2:

B. Answer all of the following questions that pertain to your application:

1. Address of the property in question: 1015 Hingham Street, Rockland, MA 02370
2. Name(s) of Owner(s) of Property: Cheboygan Properties, LLC
3. Owner's Address: 1900 Crown Colony Drive, Suite 405. Quincy, MA 02169
4. Name of Applicant(s): Cresco HHH, LLC (DBA Sunnyside)
5. Address of Applicant: 100 Summer Street
Boston, MA 02110
6. Applicant's Phone: Home: _____ Work: _____
Cell: 630-390-5836 Fax: _____
E-Mail: grace.kenny@crescolabs.com
7. State the Assessor's Map # 4 and Lot # 11 of the property.
8. State the Zoning District in which the property is located: H-1 (Industrial Park - Hotel)
9. Explain in-depth what you are proposing to do: Cresco HHH, LLC ("Sunnyside") seeks a
Special Permit to operate an Adult Use Marijuana Establishment engaged in the retail sale of marijuana and
marijuana products at 1015 Hingham Street in Rockland. Please see the enclosed narrative outlining
Sunnyside's proposed operations at the site.

10. Describe in detail any existing variance(s) or special permit(s) pertaining to this property. Copy/copies must be obtained at the Town Clerk's Office and must be attached to this application:

Please see the attached documentation of a variance approval from the Zoning Board of Appeals issued on July 28, 2020. Planning Board approval was awarded on August 25, 2020 but has not been filed with the Town Clerk.

11. List all applicable sections of the Zoning Bylaw that pertains to this application:

Sunnyside seeks a Special Permit pursuant to § 415-19(C)(19) and § 415-38.5.

12. If you are applying for a dimensional variance, state in detail any specific condition that effects the shape, soil, topography or structures on your lot that specifically effects your lot and does not effect the zoning district as a whole, and why these conditions cause a hardship to the land that warrants the granting of a variance (use a separate piece of paper if necessary) Not applicable.

13. If this is an application for a special permit, describe in detail the permit you are seeking and provide the Board with specific information as to how the proposed use will meet the Performance Standards of the Zoning By-Laws of Rockland:

Please see the enclosed narrative which outlines Sunnyside's compliance with the Performance Standards of the Zoning By-Laws of Rockland.

14. If this is an appeal from a decision of the Zoning Enforcement Officer, state in detail the grounds upon which you claim that the Zoning Enforcement Officer/ Building Inspector's decision was in error. Not applicable.

Signed: _____

Cheboygan Properties, LLC

J. Mark, Mary

Owner(s) of Record

All owners must sign

Signed: _____

Sam Costlow Cresco HHH, LLC by PCS with permission

Sam Costlow

Applicant(s) If Different from owner

All applicants must sign

Signed: _____

Signature of Attorney (if any)

Date: September 8, 2020

TOWN OF ROCKLAND
ZONING BOARD OF APPEALS
APPLICATION FOR A PUBLIC HEARING

SECTION 1:

A. I/We hereby apply for a public hearing before the Zoning Board for the following:
(Check all that are applicable)

- ☐ Application for Dimensional Variance
☐ Application for a Use Variance
☐ Application for a Section 6 Finding
☒ Special Permit for Use permissible by Special Permit
☐ Appeal from a Decision of the Zoning Enforcement Officer
☐ Comprehensive Permit (Chapter 40B)

SECTION 2:

B. Answer all of the following questions that pertain to your application:

1. Address of the property in question: 1015 Hingham Street, Rockland, MA 02370
2. Name(s) of Owner(s) of Property: Cheboygan Properties, LLC
3. Owner's Address: 1900 Crown Colony Drive, Suite 405. Quincy, MA 02169
4. Name of Applicant(s): Cresco HHH, LLC (DBA Sunnyside)
5. Address of Applicant: 100 Summer Street
Boston, MA 02110
6. Applicant's Phone: Home: _____ Work: _____
Cell: 630-390-5836 Fax: _____
E-Mail: grace.kenny@crescolabs.com
7. State the Assessor's Map # 4 and Lot # 11 of the property.
8. State the Zoning District in which the property is located: H-1 (Industrial Park - Hotel)
9. Explain in-depth what you are proposing to do: Cresco HHH, LLC ("Sunnyside") seeks a
Special Permit to operate a Registered Marijuana Dispensary engaged in the retail sale of medical marijuana
and marijuana products at 1015 Hingham Street in Rockland. Please see the enclosed narrative outlining
Sunnyside's proposed operations at the site.

10. Describe in detail any existing variance(s) or special permit(s) pertaining to this property. Copy/copies must be obtained at the Town Clerk's Office and must be attached to this application:

Please see the attached documentation of a variance approval from the Zoning Board of Appeals issued on July 28, 2020. Planning Board approval was awarded on August 25, 2020 but has not been filed with the Town Clerk.

11. List all applicable sections of the Zoning Bylaw that pertains to this application:

Sunnyside seeks a Special Permit pursuant to § 415-19(C)(17) and § 415-38.4.

12. If you are applying for a dimensional variance, state in detail any specific condition that effects the shape, soil, topography or structures on your lot that specifically effects your lot and does not effect the zoning district as a whole, and why these conditions cause a hardship to the land that warrants the granting of a variance (use a separate piece of paper if necessary) Not applicable.

13. If this is an application for a special permit, describe in detail the permit you are seeking and provide the Board with specific information as to how the proposed use will meet the Performance Standards of the Zoning By-Laws of Rockland:

Please see the enclosed narrative which outlines Sunnyside's compliance with the Performance Standards of the Zoning By-Laws of Rockland.

14. If this is an appeal from a decision of the Zoning Enforcement Officer, state in detail the grounds upon which you claim that the Zoning Enforcement Officer/ Building Inspector's decision was in error. Not applicable.

Signed: Cheloygan Properties, LLC
[Signature], managing

Owner(s) of Record
All owners must sign

Signed: Sam Costlow Cresco HHH, LLC by PCS with permission

Sam Costlow
Applicant(s) If Different from owner
All applicants must sign

Signed: [Signature]
Signature of Attorney (if any)

Date: September 8, 2020

Cresco HHH, LLC, D/B/A Sunnyside, seeks a Special Permit from the Rockland Zoning Board of Appeals to operate a co-located Adult Use Marijuana Establishment and Registered Marijuana Dispensary engaged in the medical and retail sale of marijuana and marijuana products (the “**ME**”) at 1015 Hingham Street in Rockland (the “**Property**”). The Property is located within the H-1 Industrial Park – Hotel Zoning District (the “**H-1 District**”). Pursuant to the Town of Rockland Zoning Bylaw § 415-19(C)(19), § 415-19(C)(17), § 415-38.4, and § 415-38.5, such a use is permissible in the H-1 District subject to a Special Permit from the Zoning Board of Appeals and Site Plan Review Approval from the Planning Board.

Sunnyside is a vetted marijuana establishment operator with over 29 licenses in six states, including an operational co-located Medical and Adult Use Marijuana Retail Establishment in Fall River, Massachusetts.

I. Project Context

The Property is currently a vacant lot that is located along Hingham Street directly across from Commerce Road. In collaboration with Sunnyside, the owner of the Property will construct a 5,008 square foot commercial building and 22 accompanying parking spaces. Please see the enclosed Site Plans and Floor Plans, attached hereto as **Exhibit A**, which were designed in full compliance with the standards set forth by the Rockland Zoning Bylaw, including the Site Plan Review criteria outlined in §415-58 and 59.



Map View of Cresco's Property and Surroundings

II. Project Narrative

With a focus on safe and efficient operations, Sunnyside has identified the Property as an ideal location at which to operate an ME. The Property is located in an area designated by local zoning for the aforementioned use, allows for easy access for customers and employees, and will allow the parcel to be developed to its highest and best use. Additionally, the construction of a new building allows Sunnyside to implement interior and exterior design features to reflect lessons learned from the operations of its other facilities across the country.

A. Project Exterior

Parking & Loading: Access to the Property may be obtained by a 24’ driveway off Hingham Street that is buttressed by a guard rail along the street-facing perimeter of the Property. The Property features 22 parking spaces, including one accessible space, which is in excess of the 21 spaces required by the Rockland Zoning Bylaw. Additionally, Sunnyside has secured ten additional parking spaces located at the adjacent office building located at 1001 Hingham Street which will be used as offsite parking for employees as needed. The proximity of the offsite parking spaces is demonstrated in the letter of intent exhibits affixed as **Exhibit B**. The parking lot also includes a 10’x25’ loading zone adjacent to a dumpster pad which can be secured in accordance with

Cannabis Control Commission security preferences to ensure the highest level of safety during the unloading of product deliveries to the site.

Signage and Lighting: As demonstrated in the enclosed signage plan attached hereto as **Exhibit C**, facility signage will be discrete and utilized for wayfinding only. Sunnyside will not utilize signs or printed materials advertising marijuana products or any logo or symbols with images of marijuana.

Exterior lighting will be downcast, dark-sky compliant fixtures that are affixed to the building and intended to illuminate the parking lot to ensure the safety of customers and employees leaving the facility during evening hours. Sunnyside's exterior security cameras utilize infrared capabilities and do not require external sources of light to operate effectively.



2 Exterior Signage at Cresco's Fall River Location

Facility Access: In accordance with best practices to prevent diversion, customers will enter and exit the facility from two separate vestibules along the north side of the building. Both the entry and exit of the facility are designed as secured vestibules, ensuring that no individual is able to gain immediate access to the customer floor by requiring customers to walk through a series of doorways.

A secured receiving area will be utilized exclusively for the loading of marijuana and marijuana products within the facility.

B. Project Interior

Customers will only have access to designated portions of the facility, including (1) a secure entry vestibule in which customers must demonstrate proof that they have the appropriate credentials to enter the facility; (2) a general sales floor with point-of-sale terminals; (3) a secure patient consultation room; (4) customer restrooms; and (5) a secured exit vestibule.

The secure entry vestibule and general sales floor are large to ensure the facility can accommodate all customers seeking entry to the facility to prevent exterior queuing.

The rest of the facility will only be accessible to staff on a tiered basis and includes (1) a staff break room; (2) an office; (3) a janitorial closet; (4) an information technology room; (5) the security check-in room; (6); a security room; (7) a product fulfillment room; (8) a secured vault; (9) a receiving area; (10) a sprinkler room; and (11) an electric room.

C. Facility Operations

In accordance with Cannabis Control Commission regulations, access to the facility is limited to individuals that are 21 years of age or older that can demonstrate valid government-issued identification or qualified patients over the age of 18 that can demonstrate active enrollment in the Medical Use of Marijuana Program and a valid government-issued identification. Upon a customer's entry into the premises, an agent will immediately inspect the customer's proof of

identification and determine the individual's age. Failing this confirmation, an individual will be required to leave the facility utilizing the same door in which they entered. Customers can indicate while checking in that they are interested a discrete consultation in Sunnyside's consultation area.

Once inside the sales area, customers will enter a queue to obtain individualized service where they may select any of the products available to them with the help of an agent. Once a patient or customer has selected a product for purchase, an agent will collect the chosen items from the designated product storage area. An agent will then scan each product barcode into the point of sale system. Upon checkout, customers will be required to confirm their identities and age a second time. Per M.G.L. c. 94G § 7, adult use sales are limited to one ounce of marijuana flower or five grams of marijuana concentrate per transaction. In the event an agent determines an individual would place themselves or the public at risk, the agent will refuse to sell any marijuana products to the consumer.

Customers will promptly exit the facility utilizing the secured exit vestibule leading back to the parking lot.

III. Property Operations

A. Trash

All waste containing marijuana or marijuana products will be stored securely within Sunnyside's vault. Product waste will be picked up from the facility and returned to Sunnyside's licensed cultivation and product manufacturing establishment, where it will be destroyed in compliance with all regulations set forth by the Cannabis Control Commission.

Waste that does not contain marijuana will be stored in the dumpster to the rear of the building and picked up weekly by a commercial trash vendor.

B. Snow Removal

As outlined on the enclosed Site Plans, the Property features two on-site locations for snow storage and removal. Sunnyside will identify a snow removal vendor to plow its driveway and parking lot as needed throughout the winter.

C. Loading

Product deliveries will occur between two to three times each week in unmarked transport vans. Pursuant to 935 CMR 500.105, there will be no advertising, markings, or branding indicating that the vehicle is being used to transport marijuana. Routes and times used for the transportation of marijuana and marijuana products are randomized. Marijuana and marijuana products will be transported in secure, locked storage compartments that are a part of the vehicle transporting the marijuana products and cannot be easily removed. At least two agents will staff vehicles transporting marijuana. One agent will remain in the vehicle at all times, and the other will be accompanied by a staff member into the facility and through the receiving area. Within eight hours after arrival, Sunnyside will weigh, inventory, and account for, on video, all marijuana and

marijuana products received. An armored car service will pick up monetary instruments as needed each week.

D. Traffic and Parking

With 22 parking spaces located on-site and an additional 10 offsite parking spaces for staff, Sunnyside respectfully submits that there is ample parking to accommodate its projected customers. The company will take great care to develop, implement, and refine operational procedures that ensure that customer visits are short and will not result in congestion within the parking lot or the store. Operational procedures will be continually evaluated and adjusted as necessary to ensure optimal function of the facility.

Please see the Traffic Impact Statement affixed as **Exhibit D**. Sunnyside respectfully submits that its proposed use of the Property will not disturb the existing right of way, pedestrian access, and will not cause a hazard to vehicle or pedestrian traffic. Traffic generated and patterns of access and egress will not cause congestion, hazard, or a substantial change to the neighborhood character.

Sunnyside recognizes the critical importance of operational planning and collaboration with the Town to ensure that its fledgling months of operation do not pose a nuisance to the surrounding community. Please see Sunnyside's proposed Opening Day Plan, attached hereto as **Exhibit E**.

IV. Compliance with Rockland Zoning Bylaw Section § 415-38.5 (Adult Use Marijuana)

A. Section § 415-38.5(C) – General Requirements

- (1) *All marijuana establishments shall be contained within a secure building or structure.*
Sunnyside's proposed ME is contained within a secure building.
- (2) *The hours of operation of marijuana establishments shall be set by the Zoning Board.*
Sunnyside defers to the Zoning Board of Appeals as to the appropriate hours of operation for this facility, but respectfully requests 10 AM – 8 PM, Monday-Sunday.
- (3) *No marijuana establishments shall be located within 300 feet of a property boundary line of any lot in use as a private or public school, college, licensed day-care facility, library, park, playground, recreational or athletic fields or facility or similar place where children typically congregate.*
Sunnyside's Property is adequately buffered from nearby uses and is not located within 300 feet of a private or public school, college, licensed day-care facility, library, park, playground, recreational or athletic fields or facility or similar place where children typically congregate. Please see the enclosed abutters list provided by the Town of Rockland.

Abutter Address	Current Use
1022-1030 Hingham Street	Automotive dealership
1001 Hingham Street	Office building
1099 Hingham Street	Office building

933 Hingham Street	Restaurant
929 Hingham Street	Hotel

- (4) *No smoking, burning or consumption of any product containing marijuana or marijuana-related products shall be permitted on the premises.*
Sunnyside strictly prohibits the consumption of marijuana or marijuana products on its premises.
- (5) *Marijuana establishments shall not be located inside a building containing residential units, including transient housing such as motels and dormitories, or inside a movable or mobile structure such as a car, van, truck, trailer cargo container.*
Sunnyside's proposed ME is not located inside a building containing residential units, including transient housing such as motels and dormitories, or inside a movable or mobile structure such as a car, van, truck, trailer cargo container.
- (6) *Marijuana establishments shall not have drive-through service.*
Sunnyside does not propose drive-through service at its ME.
- (7) *No signage shall be permitted that contain designs or symbols that depict or display in any way marijuana products, equipment or plants, or other similar materials.*
As demonstrated on the sign plans enclosed hereto as **Exhibit C**, no signage will contain designs or symbols that depict or display in any way marijuana products, equipment or plants, or other similar materials.
- (8) *No outside displays or storage of marijuana, related supplies or promotional materials are allowed.*
Sunnyside will not feature outside displays or storage of marijuana, related supplies, or promotional materials.
- (9) *All marijuana establishments shall be ventilated in such a manner that no: (a) Pesticides, insecticides, or other chemicals or products used in cultivation or processing are dispersed into the outside atmosphere; (b) Odor from marijuana cannot be detected by a person with a normal sense of smell at the exterior of the building.*
Sunnyside does not intend to utilize the building for cultivation or processing. Please see the enclosed Odor Control Plan, attached hereto as **Exhibit F**.

B. Section § 415-38.5(D)(5)– Special Permit Requirements

- (a) *Name and address with contact phone number and email of owner/applicant of the facility.*
Cresco HHH, LLC - Attn: Grace Kenny
100 Summer Street, Boston, MA 02110
630-390-5836
Grace.Kenny@CrescoLabs.com

- (b) *Copies of all approved required licenses and permits (to said same owner of the facility) by the Commonwealth of Massachusetts Cannabis Control Commission and any of its other agencies for the facility.*

Sunnyside respectfully requests a waiver from this submittal requirement. Sunnyside will apply to the Cannabis Control Commission but has not yet been awarded a Provisional License. Sunnyside respectfully requests that the Zoning Board of Appeals impose a condition requiring Sunnyside to demonstrate the award of a Provisional License from the Cannabis Control Commission prior to receiving a building permit at the Property.

- (c) *Evidence of the applicant's right to use the site as a marijuana establishment by means of a purchase and sales agreement, deed, owner's authorization or lease.*

Please see the enclosed Letter of Intent to Lease, attached hereto as **Exhibit B**.

- (d) *Proposed security measures for the non-medical marijuana establishments including; lighting, fencing, gates, alarms, surveillance cameras etc., to ensure the safety of persons and products from theft. A letter from the Rockland Police Chief, or designee, acknowledging review and approval of the recreational marijuana retailer facility and its security is required.*

Please see the enclosed letter from the Rockland Police Chief acknowledging review and approval of Sunnyside's security plan, attached hereto as **Exhibit G**.

- (e) *All application requirements for Site Plan approval as specified in §§ 415-58 and 415-59 unless waived by the Planning Board.*

The enclosed Site Plan was designed to comply with the requirements set forth for Site Plan Approval.

- (f) *Provide the Police Department with the names, phone numbers and email addresses of all management staff and keyholders to whom one can provide notice if there are operating problems associated with the establishment and update that list whenever there is any change in management staff or keyholders.*

Sunnyside will provide the Police Department with the names, phone numbers, and email addresses of all management staff and keyholders to whom one can provide notice if there are operating problems associated with the establishment and update that list whenever there is any change in management staff or keyholders.

C. Section § 415-38.5(E)– Findings

- (1) *The establishment is designed to minimize any adverse impacts on abutters and other parties of interest, as defined in M.G.L. c. 40A, §11.*

Sunnyside has demonstrated that it has taken great care to minimize any adverse impacts on abutters and parties of interest through thoughtful site design and the implementation of comprehensive standard operating procedures, including:

- The selection of a Property within the H-1 Zone which has been identified as an appropriate zone for ME uses and is not within 300 feet of any offending buffer uses;

- The construction of a state-of-the-art facility from the ground up that has been specifically designed to accommodate best practices for ME uses, including separate customer entry and exit points, a secure loading area, ample parking, and thoughtful signage, lighting, and landscaping;
 - Leasing an additional 10 parking spaces for employee use at an abutting site to protect against congestion at the site;
 - The proposal of an Opening Day Plan which contemplates numerous traffic mitigation measures including appointment only operations, parking lot attendants, and phased stages of opening;
 - The proposal of an Odor Control Plan that relies on prepackaged materials and odor control technologies to protect against odor escape from the vault;
 - Nuanced signage, exterior design, and screening to maintain a respectful streetscape façade; and
 - A thoughtful security plan that has been approved by the Rockland Chief of Police.
- (2) *The establishment demonstrates that it will meet all the permitting requirements of all applicable agencies within the Commonwealth of Massachusetts and will comply with all applicable state and local laws and regulations.*

Sunnyside is a vetted marijuana establishment operator with over 29 licenses in six states, including an operational co-located Medical and Adult Use Marijuana Retail Establishment in Fall River, Massachusetts. Sunnyside will submit an application to the Cannabis Control Commission. Sunnyside respectfully requests that the Zoning Board of Appeals impose a condition requiring Sunnyside to demonstrate the award of a Provisional License from the Cannabis Control Commission prior to receiving a building permit at the Property.

- (3) *The applicant has satisfied all of the conditions, findings and requirements set forth herein.*

Sunnyside respectfully submits that it has satisfied all of the conditions, findings, and requirements set forth herein, and will make additional information available to the Zoning Board of Appeals upon request.

V. Compliance with Rockland Zoning Bylaw Section § 415-38.4 – Medical Marijuana

A. Section § 415-38.4(C) – General Requirements and Conditions

- (1) *All non-exempt RMDs shall be contained within a building or structure.*
Sunnyside's ME is contained within a building.
- (2) *RMDs shall have a gross floor area of no less than 2,500 square feet.*
Sunnyside's facility has a gross floor area of over 5,000 square feet.
- (3) *RMDs shall not be located in buildings that contain any office used by a medical doctor/doctors, or the offices of any other professional practitioner authorized to prescribe the use of medical marijuana.*

Sunnyside's proposed ME is a standalone facility that is not located in a building that contains any office used by a medical doctor or professional practitioner.

- (4) *Hours of operation of Registered Marijuana Facilities shall be set by the Special Permit Granting Authority, but in no event shall said facilities be open and/or operating between the hours of 8:00 p.m. and 8:00 a.m.*
Sunnyside defers to the Zoning Board of Appeals as to the appropriate hours of operation for this facility, but respectfully requests 10 AM – 8 PM, Monday-Sunday.
- (5) *There shall be no smoking, burning or consumption of any product containing marijuana or marijuana-related products on the premises of an RMD.*
Sunnyside strictly prohibits the consumption of marijuana or marijuana products on its premises.
- (6) *RMDs shall not be located on a lot which abuts a Residential Zoning District, a school, day care center, public playground, the Rail Trail or athletic fields.*
Sunnyside's ME is not located on a lot that abuts a Residential Zoning District, a school, a day care center, a public playground, the Rail Trail, or athletic fields.
- (7) *RMDs shall not be located inside a building containing residential units, including transient housing such as motels and dormitories, or inside a movable or mobile structure such as a van, truck or trailer.*
Sunnyside is not located within a building containing residential units, including transient housing such as motels and dormitories, or inside a movable or mobile structure.
- (8) *Notwithstanding any provisions of Article VI, § 415-45D of this bylaw, external signage for the RMDs shall not be illuminated except for a period of 30 minutes before sundown until closing and shall comply with all other requirements regarding signage; provided, however, that the Department of Public Health may further specify minimum signage requirements.*
 - (a) *RMDs may develop a logo to be used in labeling, signage, and other materials. Use of the medical symbols, images of marijuana, related paraphernalia, and colloquial references to cannabis and marijuana are prohibited from use in this logo.*
 - (b) *Signs shall include the following language: "Registration card issued by the MA Department of Public Health required." The required text shall be a minimum of two inches in height.*
 - (c) *Signs shall only identify the building by its registered name.*
 - (d) *Signs shall not utilize graphics related to marijuana or paraphernalia on the exterior of the building in which the RMD is located.*

Please see the enclosed signage plan attached hereto as **Exhibit B**. As the proposed facility is a co-located medical and adult use ME, Sunnyside will affix signage of a minimum of two inches in height next to the entry way that reads: "Patients must display Medical Use of Marijuana Program card and government issued identification. Adult use customers must display government issued identification."

- (9) *RMDs shall not display on the exterior of the facility advertisements for marijuana or any brand name.*

No advertisements are displayed on the exterior of the facility.

- (10) *RMDs shall provide the Rockland Police Department, Building Commissioner/Zoning Enforcement Officer with the names, phone numbers and email addresses of all management staff and key holders to whom one can provide notice if there are operating problems associated with the establishment and update that list whenever there is any change in management staff or key holders.*

Sunnyside will provide the Rockland Police Department, Building Commissioner/Zoning Enforcement Officer with the names, phone numbers and email addresses of all management staff and key holders to whom one can provide notice if there are operating problems associated with the establishment and update that list whenever there is any change in management staff or key holders.

- (11) *RMDs shall be open to the public by appointment only.*

Sunnyside will accept appointments for medical use patients in advance or, when desired, they may be made upon arrival to the facility.

- (12) *RMDs shall provide delivery service to Hardship Patients who are unable to get to the Dispensary.*

Sunnyside will provide delivery services to Hardship Patients who may have difficulties accessing the ME.

B. Section § 415-38.4(D)(3) – Special Permit Requirements

In addition to the application requirements established by the Zoning Board of Appeals rules, regulations, and elsewhere in this bylaw, a Special Permit application for an RMD shall include the following:

- (a) *The name and address of each owner of the establishment and property owner.*

Owner of the Property: Cheboygan Properties, LLC – 80 Washington St, Suite J40,
Norwell, MA 02061

Please see **Exhibit H** for the names and addresses of owners of the establishment.

- (b) *Copies of all required licenses and permits issued to the Applicant by the Commonwealth of Massachusetts and any of its agencies for the establishment.*

Sunnyside will provide a copy of all required licenses and permits issued by the Cannabis Control Commission upon receipt.

- (c) *Evidence of the Applicant's right to use the site for the establishment, such as a deed, or lease.*

Please see **Exhibit B**.

- (d) *If the Applicant is a business organization, a statement under oath disclosing all of its owners, shareholders, partners, members, managers, directors, officers, or other similarly situated individuals and entities and their addresses. If any of the above are entities rather than persons, the Applicant must disclose the identity of the owners of such entities until the disclosure contains the names of individuals.*
Please see **Exhibit H**.
- (e) *A certified list of all parties in interest entitled to notice of the hearing for the Special Permit application, taken from the most recent tax list of the Town and certified by the Town Assessor.*
Please see **Exhibit I**.
- (f) *Proposed security measures for the Registered Marijuana Facilities, including lighting, fencing, video monitoring, gates and alarms, etc., to ensure the safety of persons and to protect the premises from theft.*
Sunnyside has shared security measures with the Rockland Police Department and obtained a letter enclosed hereto as **Exhibit G**.
- (g) *A site plan drawn and stamped by a certified land Surveyor licensed to practice in Massachusetts showing all existing and proposed conditions on the lot.*
Please see **Exhibit A**.
- (h) *A Traffic Impact Report shall be prepared by a traffic engineer. The report will be submitted to the Town's Engineer for review and shall be paid for by the Applicant.*
Please see **Exhibit D**.
- (i) *RMDs shall submit an application and receive approval for site plan and design review done by the Planning Board.*
Sunnyside will submit an application and receive approval for site plan and design review by the Planning Board.

VI. Compliance with Rockland Zoning Bylaw Section § 415-79(A): Performance Standards

With the exception of single- or two-family residential uses, any use permitted by right or by special permit in any district shall be conducted so as to protect the adjoining premises against detrimental or offensive uses on the site, including:

- (1) *By compliance with all dimensional requirements set forth in this Zoning Bylaw.*
Please see the enclosed Site Plans demonstrating compliance with all dimensional requirements set forth in the Zoning Bylaw.
- (2) *By providing adequate landscaping, including the screening of adjacent residential uses, street trees, landscape islands in the parking lot and a landscaped buffer along the street frontage.*

As demonstrated in the enclosed Site Plans, the proposed Property layout incorporates extensive landscaping including landscaped islands in the parking lot and landscaped buffers along the street frontage. There are no residential uses adjacent to the site.

- (3) *By providing for the convenience and safety of vehicular and pedestrian movement within the site, and in relation to adjacent streets, property, or improvements, including compliance with other provisions of this Zoning Bylaw where required.*

With 23 parking spaces located on-site and an additional 10 offsite parking spaces for staff, Sunnyside respectfully submits that there is ample parking to accommodate its projected customers. The company will take great care to develop, implement, and refine operational procedures that ensure that customer visits are short and will not result in congestion within the parking lot or the store. Operational procedures will be continually evaluated and adjusted as necessary to ensure optimal function of the facility.

Please see the Traffic Impact Statement affixed as **Exhibit D**. Sunnyside respectfully submits that its proposed use of the Property will not disturb the existing right of way, pedestrian access, and will not cause a serious hazard to vehicle or pedestrian traffic. Traffic generated and patterns of access and egress will not cause congestion, hazard, or a substantial change to the neighborhood character.

- (4) *By providing for adequate methods of disposal for sewage, refuse and other wastes resulting from the uses permitted or permissible on the site.*

All waste containing marijuana or marijuana products will be stored securely within Sunnyside's vault. Product waste will be picked up from the facility and returned to Sunnyside's licensed cultivation and product manufacturing establishment, where it will be destroyed in compliance with all regulations set forth by the Cannabis Control Commission.

Waste that does not contain marijuana will be stored in the dumpster to the rear of the building and picked up weekly by a commercial trash vendor.

The enclosed Site Plan demonstrates adequate methods for the disposal of sewage on-site.

- (5) *By providing an adequate stormwater drainage system within and/or adjacent to the site to manage all increased runoff resulting from the development on site.*

The enclosed Site Plan demonstrates an adequate stormwater drainage system to manage all increased runoff resulting from the development on site.

- (6) *By providing an adequate soil erosion plan and any plan for protection of steep slopes, both during and after construction.*

The enclosed Site Plan demonstrates an adequate plan to protect against soil erosion.

- (7) *By providing adequate space for the off-street loading and unloading of vehicles, goods, products, materials, and equipment incidental to the normal operation of the establishment.*

The parking lot includes a 10'x25' loading zone adjacent to a dumpster pad which can be secured in accordance with Cannabis Control Commission security preferences to ensure the highest level of safety during the unloading of product deliveries to the site.

- (8) *By providing adequate site lighting whether interior or exterior, and all intense light emanating from operations or equipment shall be shielded from direct view at normal eye level from adjacent properties.*

Exterior lighting will be downcast, dark-sky compliant fixtures that are affixed to the building and intended to illuminate the parking lot to ensure the safety of customers and employees leaving the facility during evening hours. Sunnyside's exterior security cameras utilize infrared capabilities and do not require external sources of light to operate effectively.

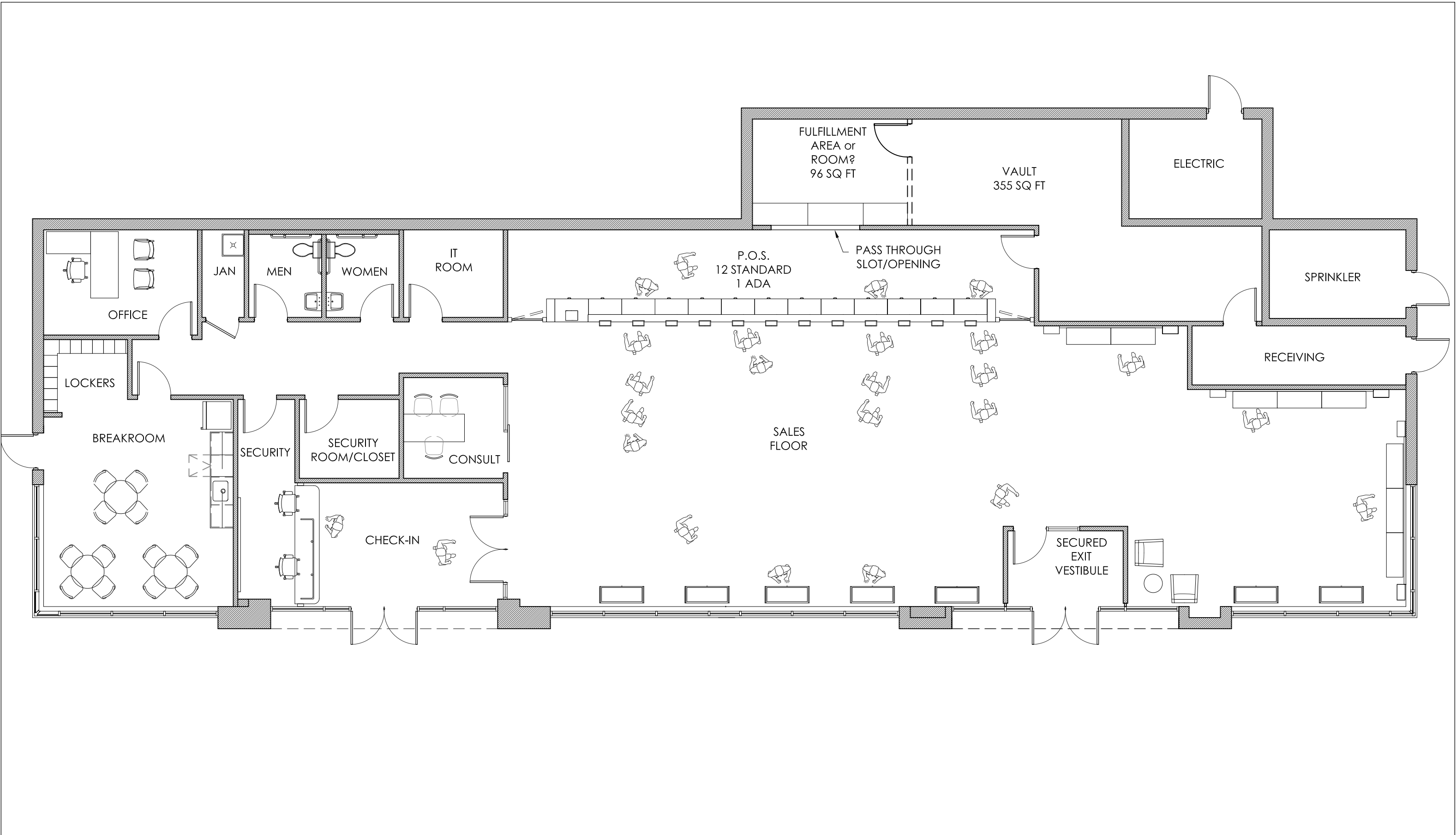
- (9) *By minimizing any material or significant adverse impacts on steep slopes, floodplains, scenic views, grade changes and wetlands.*

The proposal will not have an impact on the above-mentioned items.

- (10) *By requiring all permits issued under this Zoning Bylaw be conditioned upon receipt of all other required permits including Board of Health, Conservation Commission, Planning Board, etc. prior to the commencement of any use.*

Sunnyside is amenable to this condition.

Exhibit A



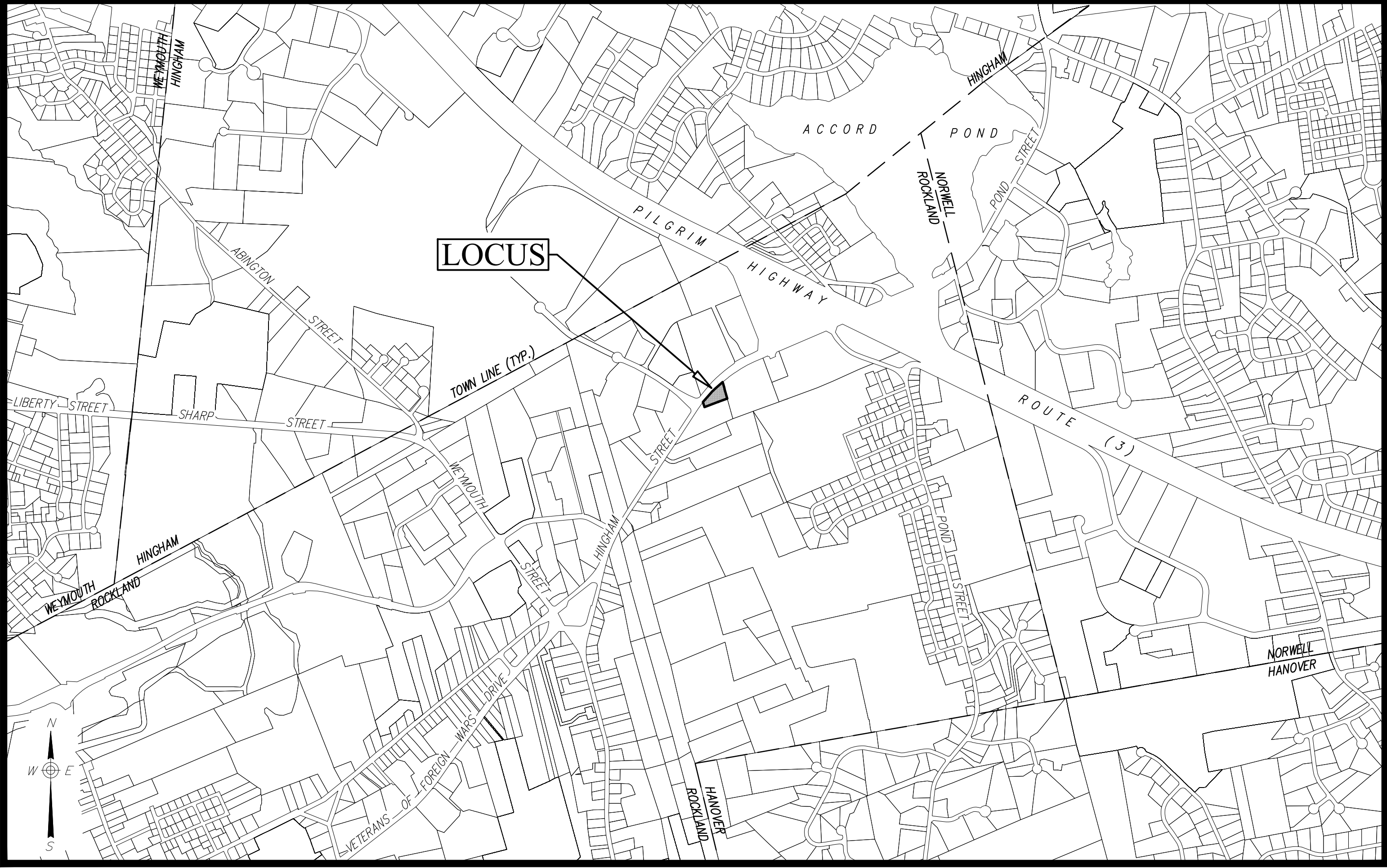
PROPOSED COMMERCIAL BUILDING
AT
#1015 HINGHAM STREET
ROCKLAND, MASSACHUSETTS

FEBRUARY 19, 2020

LEGEND	
EXISTING	PROPOSED
MINOR CONTOUR	MAJOR/MINOR CONTOUR
MAJOR CONTOUR	SPOT ELEVATION
SPOT ELEVATION	LIMIT OF WORK/EDGE OF CLEARING
TEST PITS	SILT FENCE
EDGE OF CLEARING	WATER SERVICE
WETLAND LINE	WATER GATE
WETLAND FLAG	HYDRANT
	GAS SERVICE
	ELECTRIC SERVICE
	DRAIN LINE
	DRAIN MANHOLE
	CATCH BASIN
	FLARED END SECTION
	RIP-RAP
	HEADWALL/OUTLET CONTROL STRUCTURE
	6" WIDE VERTICAL CONCRETE CURB
	GUARDRAIL

PROJECT NOTES

- LOCUS: #1015 HINGHAM STREET
ROCKLAND ASSESSORS MAP 4 PARCEL 11
- DEED REFERENCE: Bk: 46526 Pg: 22
- PLAN REFERENCE: Bk: 9 Pg: 195 (LOTS 1, 2, & 3)
- LOCUS PARTIALLY FALLS WITHIN SPECIAL FLOOD HAZARD ZONE "A" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25023C-0092-J dated 07/17/2012.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- LOCUS FALLS WITHIN A ZONE "B" SURFACE WATER PROTECTION AREA.
- ALL OF THE EXISTING SITE CONDITIONS, EXCEPT FOR THE WETLAND LINES, DEPICTED IN THIS PLAN SET WERE TAKEN FROM A PLAN ENTITLED "#1015 HINGHAM STREET EXISTING CONDITIONS PLAN IN ROCKLAND, MA", PREPARED BY PRECISION LAND SURVEYING, INC. AND DATED JULY 18, 2016.
- THE WETLAND AREAS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS IN JANUARY 2020.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- THE ROCKLAND WATER DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY WORK ON THE WATER SYSTEM.
- THE ROCKLAND SEWER DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY WORK ON THE SEWER SYSTEM.
- PROJECT ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM.



LOCUS MAP

Scale : 1" = 1,000'

OWNER:

1099 HINGHAM ST REALTY TRUST
c/o JUMBO CAPITAL MANAGEMENT, LLC, trustee
1900 CROWN COLONY DRIVE, SUITE 405
QUINCY, MA 02169

APPLICANT:

CHEBOYGAN PROPERTIES, LLC
80 WASHINGTON STREET, SUITE J40
NORWELL, MA 02061

CIVIL ENGINEER / LAND SURVEYOR:

BRACKEN
ENGINEERING, INC.

49 HERRING POND ROAD BUZZARDS BAY, MA 02532 (Tel) 508.833.0070 (Fax) 508.833.2282

19 OLD SOUTH ROAD NANTUCKET, MA 02554 (Tel) 508.325.0044 (Tel) 508.325.0044 www.brackeneng.com

ARCHITECT:

ROTH & SEELEN, INC.
ARCHITECTURE, INTERIOR DESIGN, PLANNING
50 SOUTH STREET
HINGHAM, MA 02043

PAGE	DESCRIPTION
1	COVER SHEET
2	LAYOUT & ZONING
3	GRADING, DRAINAGE & UTILITIES
4	CONSTRUCTION DETAILS

ZONING SUMMARY

ZONE: INDUSTRIAL PARK - HOTEL (H-1) & WATERSHED PROTECTION DISTRICT

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	-	37,017± s.f.	NO CHANGE
MINIMUM LOT FRONTAGE	110'	315.36'	NO CHANGE
MINIMUM LOT WIDTH	110'	316.84'	NO CHANGE
MINIMUM FRONT SETBACK	50'	N/A	61.1'
MINIMUM SIDE SETBACK	30'	N/A	15.0'*
MINIMUM REAR SETBACK	30'	N/A	27.6'*
MAX. BUILDING COVERAGE	50%	N/A	13.5%
MAX. BUILDING HEIGHT	36'	N/A	<36'

*VARIANCE REQUIRED

PARKING SUMMARY

DESCRIPTION	REQUIRED
5,008 s.f. (RETAIL) AT 1 SPACE/300 s.f. OF SALES FLOOR AREA	= 16.7 SPACES
8 EMPLOYEES AT 1 SPACE PER 2 EMPLOYEES	= 4 SPACES
TOTAL PARKING REQUIRED	= 21 SPACES
TOTAL PARKING PROVIDED	= 22 SPACES
OFF-STREET LOADING REQUIRED AT 1 SPACE (5K s.f.-20K s.f.)	= 1 SPACE
OFF-STREET LOADING PROVIDED	= 1 SPACE
ACCESSIBLE PARKING SPACES AT 1 SPACE FOR 15-25 TOTAL PARKING	= 1 SPACE
VAN ACCESSIBLE SPACES AT MINIMUM OF 1 PER 6 ACCESSIBLE SPACES	= 1 SPACE

#10 HINGHAM STREET
MAP 4 PARCEL 8
N/F
SOUTH SHORE INDUSTRIAL PARK CORPORATION

#1022 & #1030 HINGHAM STREET
MAP 4 PARCEL 6
N/F
AMR R. E. HOLDINGS-ROCKLAND, LLC

#1089 HINGHAM STREET
MAP 4 PARCEL 14
N/F
JUMBO CAPITAL MANAGEMENT, LLC

PROPOSED STREET TREE (TYP.)
(LANDSCAPE DESIGN BY OTHERS)

PROPOSED RETAINING WALL (DESIGN BY OTHERS)

PROPOSED GUARDRAIL

PROPOSED DRAINAGE SWALE

PROPOSED WALLPACK LIGHT (TYP.)
(DESIGN BY OTHERS)

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

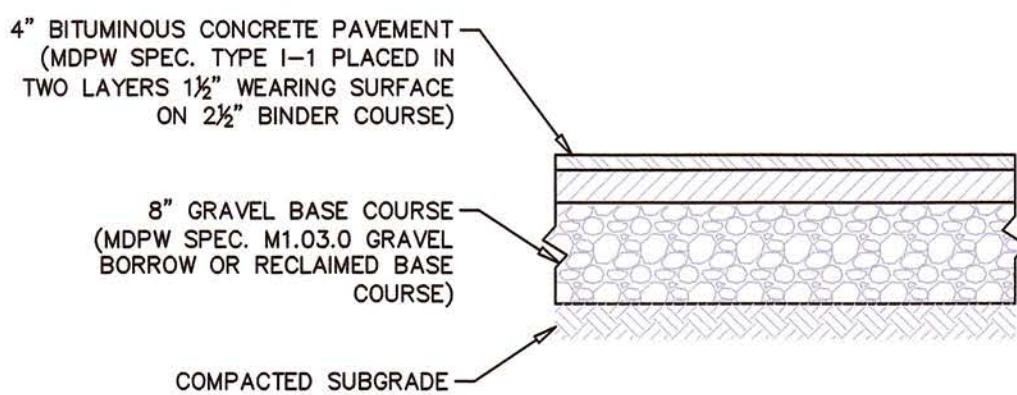
PROPOSED EMERGENCY
ACCESS & UTILITY EASEMENT

FRONT ELEVATION

SIDE ELEVATION

WOOD GUARD RAIL DETAIL

NOT TO SCALE



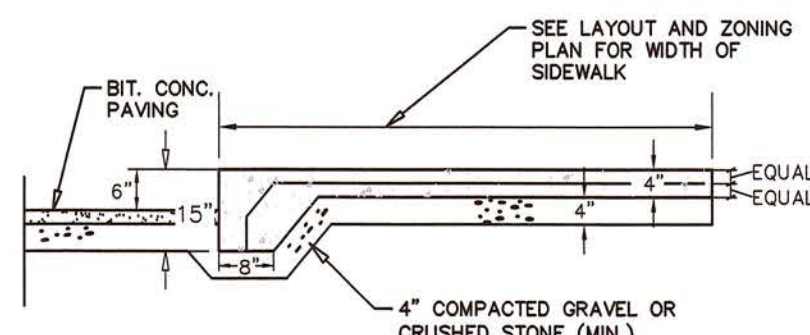
- NOTES:
- SANDY LOAM and/or LOAMY SAND TOPSOIL MATERIAL SHALL BE EXCAVATED FROM ALL PAVED AREAS PRIOR TO SUB-BASE INSTALLATION.
 - SUB-BASE (EXISTING MATERIAL) SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE and/or COARSE SAND, FREE FROM LOAM and CLAY TO A DEPTH NOT LESS THAN 4 FEET BELOW THE FINISH PAVEMENT SURFACE.
 - SUBGRADE FILL SHALL BE COMPACTED TO 95% COMPACTION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH and LOCATION.
 - SEE GRADING PLAN FOR PAVEMENT SLOPE and CROSS SLOPE.
 - PRIOR TO INSTALLING THE WEARING COURSE, THE EXISTING BINDER COURSE SURFACE SHALL BE SWEEP COMPLETELY CLEAN BY A STREET SWEEPING MACHINE AND A TACK COAT SHALL BE INSTALLED TO A LEVEL APPROVED BY THE ENGINEER.

PARKING AREA PAVEMENT SECTION

NOT TO SCALE

INTEGRAL SIDEWALK / CURB DETAIL

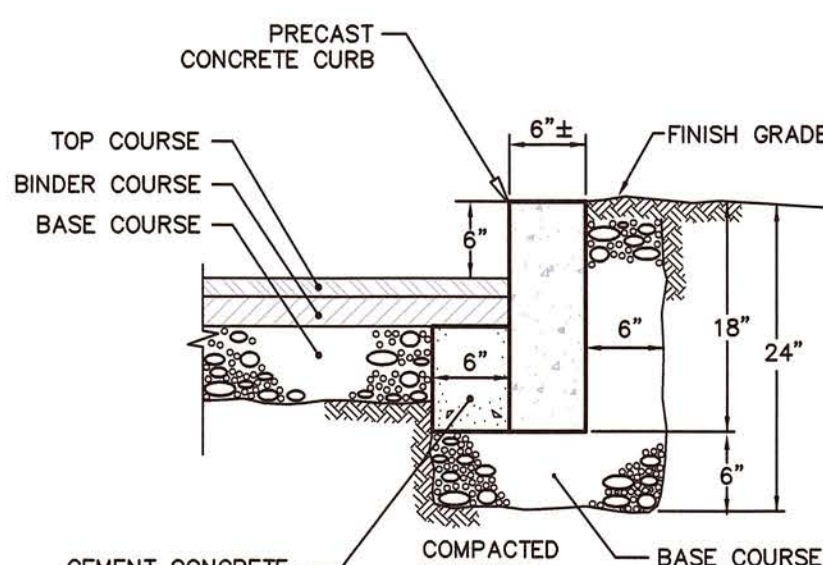
NOT TO SCALE



NOTE:
PROVIDE EXPANSION JOINTS AT 25' O.C. (MIN.)
AND CONTROL JOINTS AT 5' O.C. (MIN.)

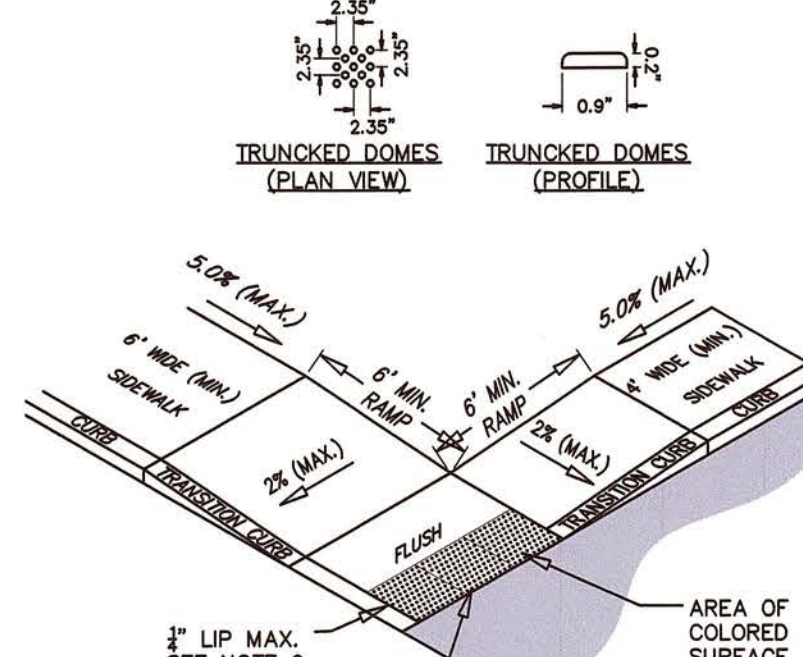
PRECAST CONCRETE CURB

NOT TO SCALE



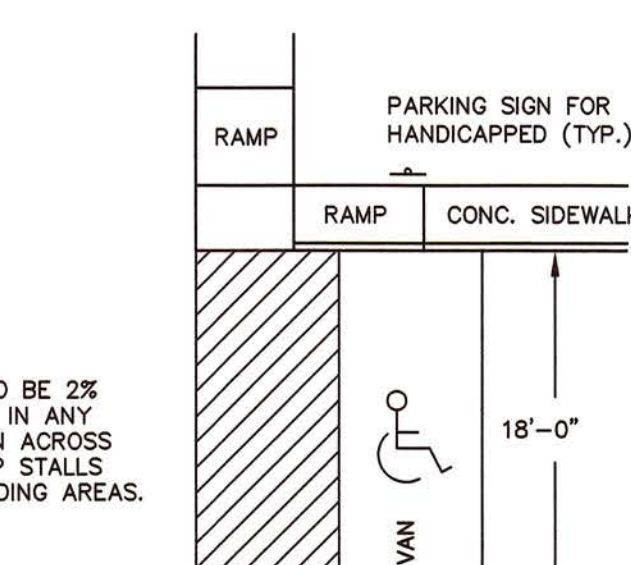
HANDICAP RAMP DETAIL

NOT TO SCALE

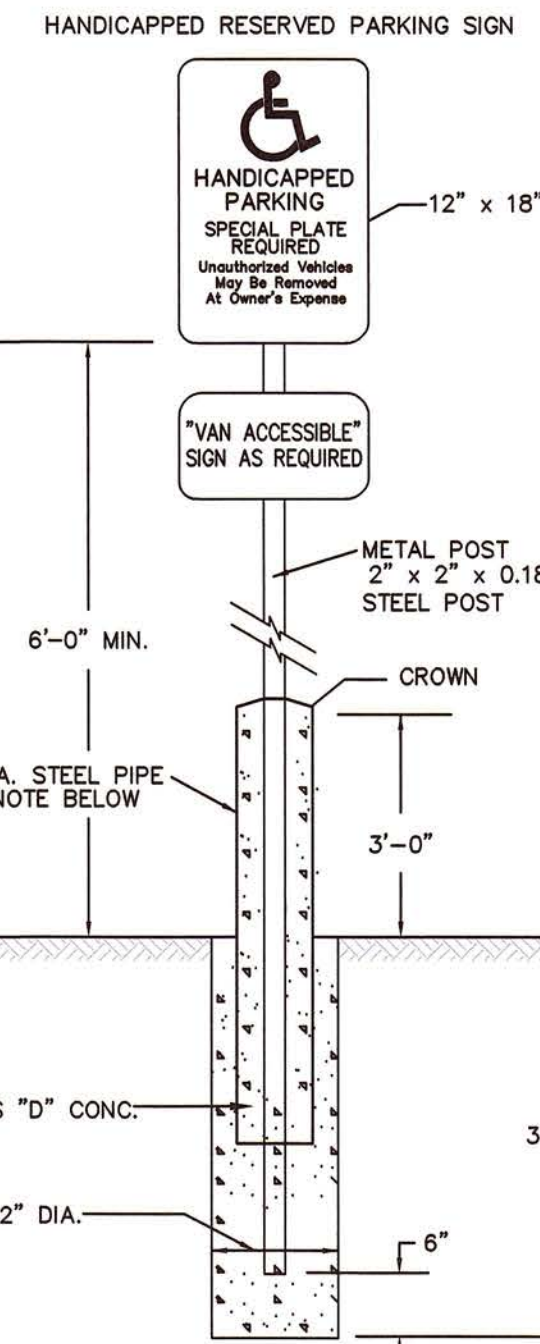


HANDICAP PARKING DETAIL

NOT TO SCALE



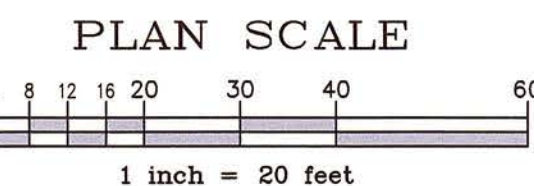
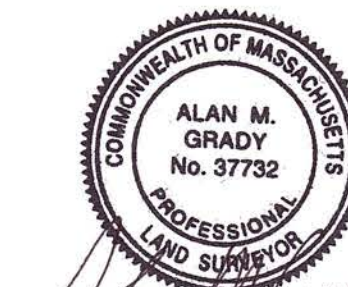
NOTE:
GRADE TO BE 2%
MAXIMUM IN ANY
DIRECTION ACROSS
HANDICAP SPACES
AND LOADING AREAS.



HANDICAP PARKING SIGN

NOT TO SCALE

- NOTES:
- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2.0% (1.0% MIN.).
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 - A MINIMUM DISTANCE OF 3' CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN THE ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 - TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 - WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200'.
 - ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWING TO BE INSTALLED AND SET FLUSH.
 - DETECTABLE WARNINGS SHALL CONTRAST VISUALLY AND AUDIBLY WITH ADJOINING SURFACES.



Prepared By:

BRACKEN
ENGINEERING, INC.

49 HERRING POND ROAD
BUZZARDS BAY, MA 02532

(tel) 508.833.0070
(fax) 508.833.2282

19 OLD SOUTH ROAD
NANTUCKET, MA 02554

(tel) 508.325.0044
www.brackeneng.com

Sheet Title:

LAYOUT & ZONING

Project:

PROPOSED COMMERCIAL BUILDING

IN ROCKLAND, MASSACHUSETTS

PREPARED FOR:

CHEBOYGAN PROPERTIES, LLC

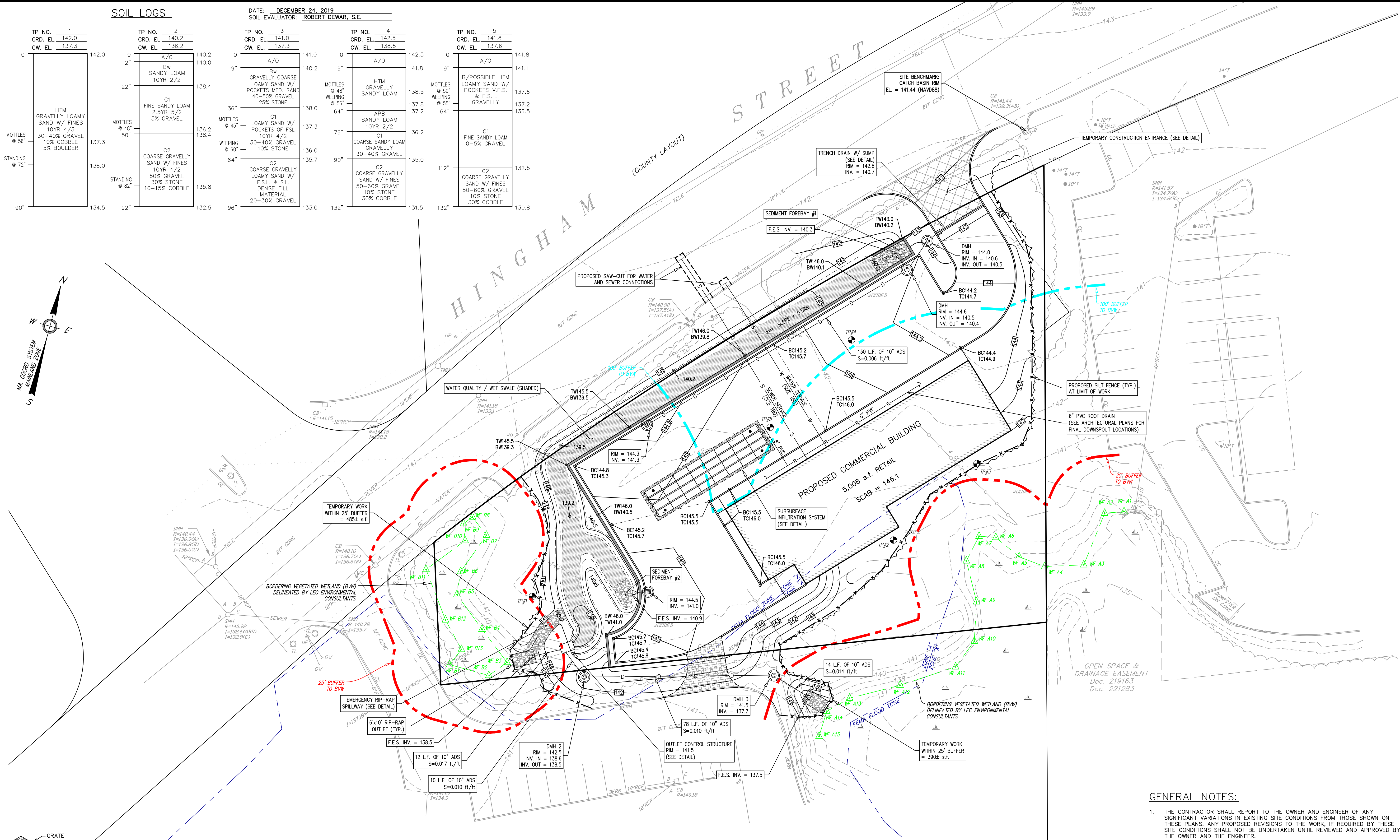
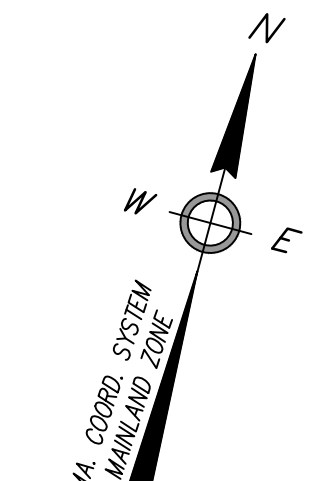
#1015 HINGHAM STREET

MAP 4 PARCEL 11

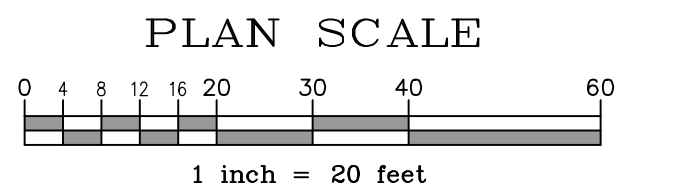
No.	Date	Revision Description	By
1	FEBRUARY 19, 2020	Drawn: RMM/ERC/BEI Checked: DFB/AMG	Sheet: 2 of 4

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

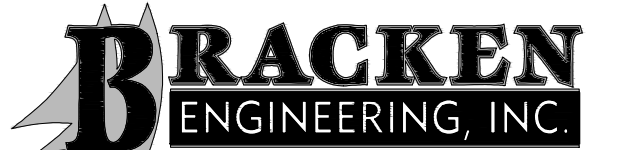
DATE: DECEMBER 24, 2019
SOIL EVALUATOR: ROBERT DEWAR, S.E.

[illegible]

1. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE CRITERIA OUTLINED TO PREVENT OR MINIMIZE SOIL EROSION.
2. THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL COMPLY WITH ALL OF THE TOWN OF ROCKLAND, THE STATE OF MASSACHUSETTS AND FEDERAL REGULATIONS IN CONSTRUCTING THE EROSION AND SEDIMENTATION CONTROL MEASURES INDICATED IN THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DRAINAGE SWALES, TEMPORARY SEDIMENT BASINS AND MEASURES USED TO MANAGE THE STORMWATER RUNOFF ON AND FROM THE SITE DURING THE DURATION OF SITE CONSTRUCTION.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAR ROADS, CONTROL DUST, AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT NEIGHBORS ARE NOT EXPOSED TO CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
5. THE CONTRACTOR IS RESPONSIBLE FOR TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION.
6. THE CONTRACTOR SHALL INSPECT AND REPAIR EROSION SEDIMENT CONTROL DEVICES AT THE END OF EACH WORKING DAY AND AFTER EACH STORM.
7. ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION FROM CONSTRUCTION OF HIGH BASINS (GRATES), INLET/OUTLET STRUCTURES, AND OUTFALL AREAS SHALL BE PROTECTED WITH STAKED HAYBALES, CRUSHED STONE FILTERS, OR SILTS CHECKS THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD, AS DIRECTED.
8. ALL TEMPORARY SOIL STOCKPILE AREAS AND TRENCH EXCAVATION SPOILS SHALL BE PROTECTED WITH A ROW OF STAKED HAYBALES AND/OR SILT FENCE AND WITH A SPREAD HAY MULCH AND WITH NETTING (OR EXCLUSION EROSION CONTROL MATTING) WHEN LEFT EXPOSED FOR LONG PERIODS OF TIME. ANY SUCH STOCKPILE AREAS SHALL BE PLACED IN AN APPROPRIATE UPLAND LOCATION AND CLOSURE BE REMOVED PRIOR TO PROJECT CLOSE-OUT.
9. THE EROSION CONTROL MEASURES SHOWN SHOULD BE CONSIDERED MINIMUM STANDARDS.
10. A SILT FENCE BARRIER IS TO BE INSTALLED AT THE PROPOSED DOWN GRADIENT TOE OF SLOPE AT ALL LOCATIONS WHERE EARTHWORK IS PROPOSED.
11. FILTER FABRIC SHALL BE "MIRAFI 140 N" PHILLIPS "SUPAC S-P" OR APPROVED EQUIV. CONTRACTOR SHALL ADHERE TO MANUFACTURER SPECIFICATIONS FOR PLACEMENT AND INSTALLATION.
12. THE CONTRACTOR MUST KEEP ONSITE, AT ALL TIMES, ADDITIONAL SILT FENCE FOR EMERGENCY CONSTRUCTION OR FOR 30 DAYS OF CONSTRUCTION. THE DIRECTION OF THE OWNER'S REPRESENTATIVE, THE ENGINEER, OR THE TOWN OF ROCKLAND REPRESENTATIVE.
13. WHEN SILT HAS BUILT UP TO ONE-HALF THE HEIGHT OF THE EROSION CONTROL, IT IS TO BE REMOVED.
14. EXPOSED SLOPES GREATER THAN 50' IN LENGTH ARE TO HAVE HAYBALE CHECK DAMS, TERRACES AND MULCHING WITH 50 DAYS OF CONSTRUCTION TO REDUCE EROSION AND TO ENHANCE SURFACE STABILIZATION. IF CHECK DAMS ARE USED THEY SHOULD BE PLACED APPROXIMATELY 50' O/C, PARALLEL WITH THE FACE OF THE SLOPE.
15. AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEARED OF SILT, STONES AND OTHER DEBRIS. EXCESS DEBRIS IS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE TO ALL LOCAL REQUIREMENTS.
16. ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH, BIODEGRADABLE EROSION CONTROL FABRIC, OR HYDROSEEDING WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCTIVE TO GERMINATION OF THE SEED.



Prepared By:



49 HERRING POND ROAD BUZZARDS BAY, MA 02532	19 OLD SOUTH ROAD NANTUCKET, MA 02554
(tel) 508.833.0070 (fax) 508.833.2282	(tel) 508.325.0044 www.brackeneng.com

Sheet Title:

GRADING, DRAINAGE & UTILITIES

Project:

**PROPOSED COMMERCIAL BUILDING
IN ROCKLAND, MASSACHUSETTS**

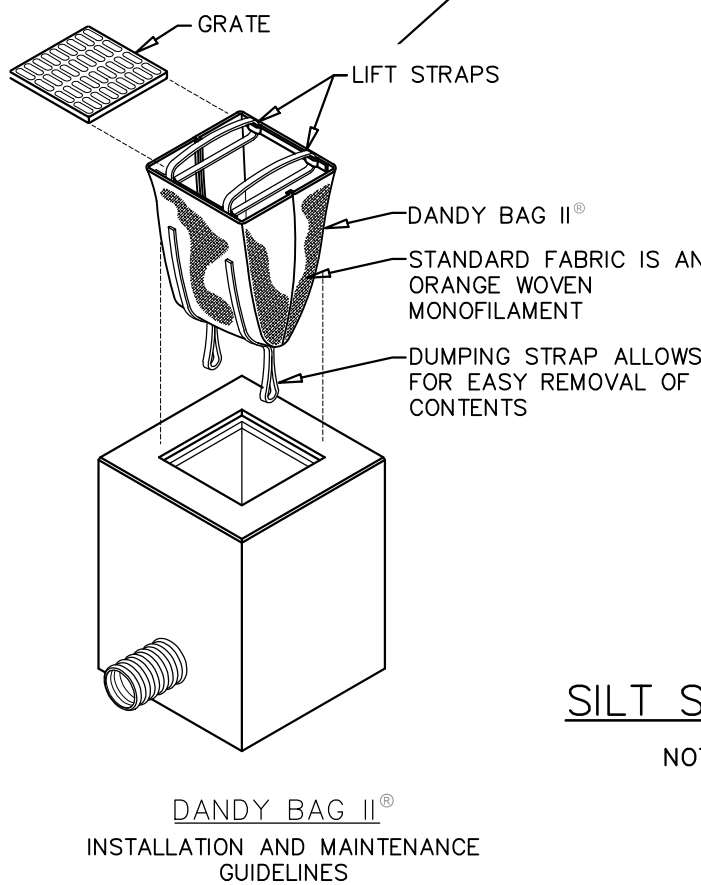
PREPARED FOR:

CHEBOYGAN PROPERTIES, LLC

**#1015 HINGHAM STREET
MAP 4 PARCEL 11**

No.	Date	Revision Description			By
Date:		Drawn:	Checked:	Sheet:	
FEBRUARY 19, 2020		RMM/ERC/BEI	DFB/AMG	3 of 4	

ISSUED FOR PERMIT - NOT FOR CONSTRUCTION



SILT SACK DETAIL

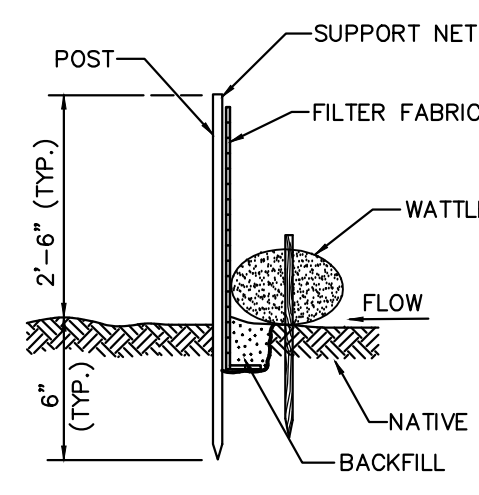
NOT TO SCALE

INSTALLATION:

REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG [®] SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

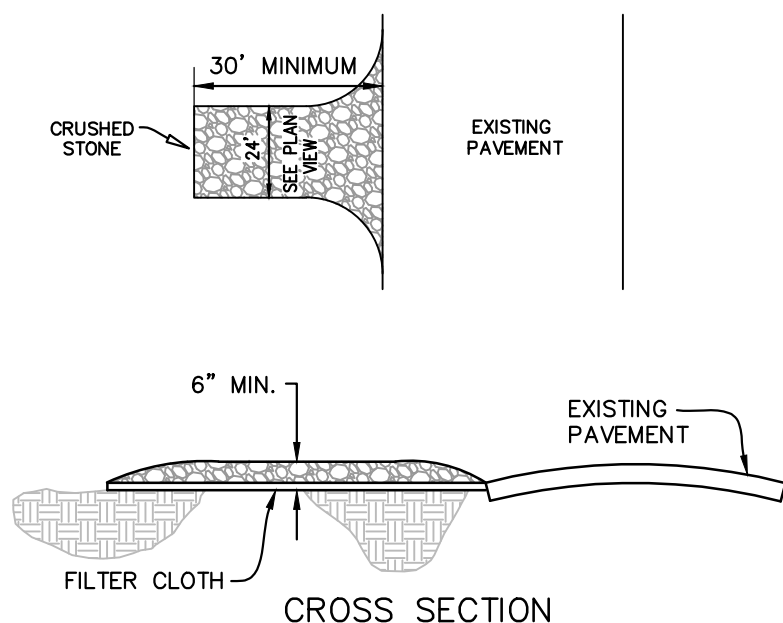
MAINTENANCE:

UNIT. INSUREL ACCUMULATED OIL, WATER, AND DEBRIS. MAINTAIN A MINIMUM OF 1 INCH OF INSUREL ABOVE EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DUNDY BAG #11. IF THE CONTAINMENT AREA IS MORE THAN $\frac{3}{4}$ FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.



SILTATION FENCE DETAIL

NOT TO SCALE



TEMPORARY TRACKING PAD DETAIL

NOT TO SCALE

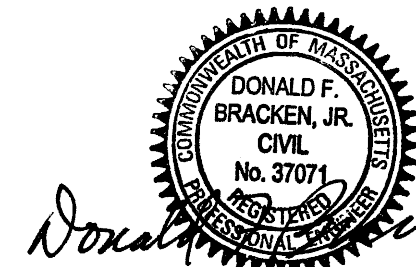
TRACKING PAD NOTES:

STONE SIZE - USE 2" CRUSHED STONE

FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. STONE USED SHALL BE LARGE ENOUGH SO THAT IT DOES NOT GET PICKED UP AND TRACKED OFF THE SITE BY THE VEHICLE TRAFFIC.

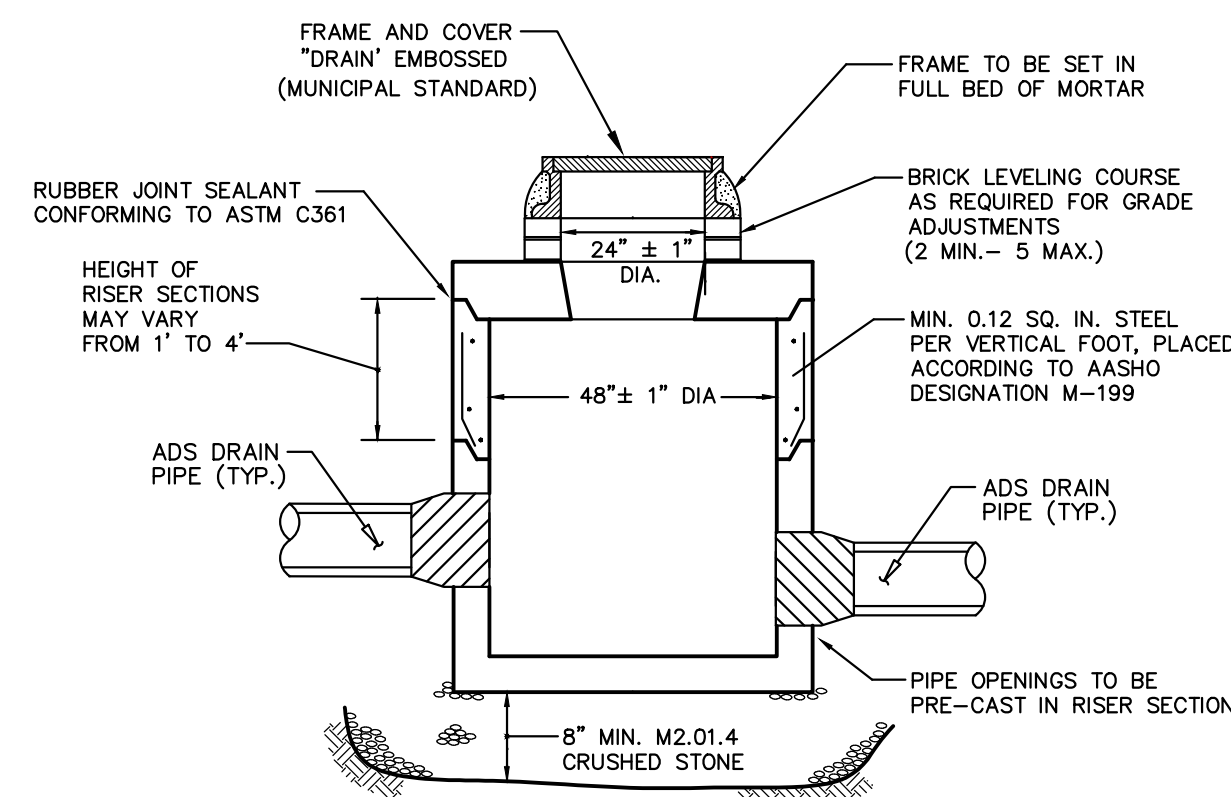
SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHOULD BE PERMITTED.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

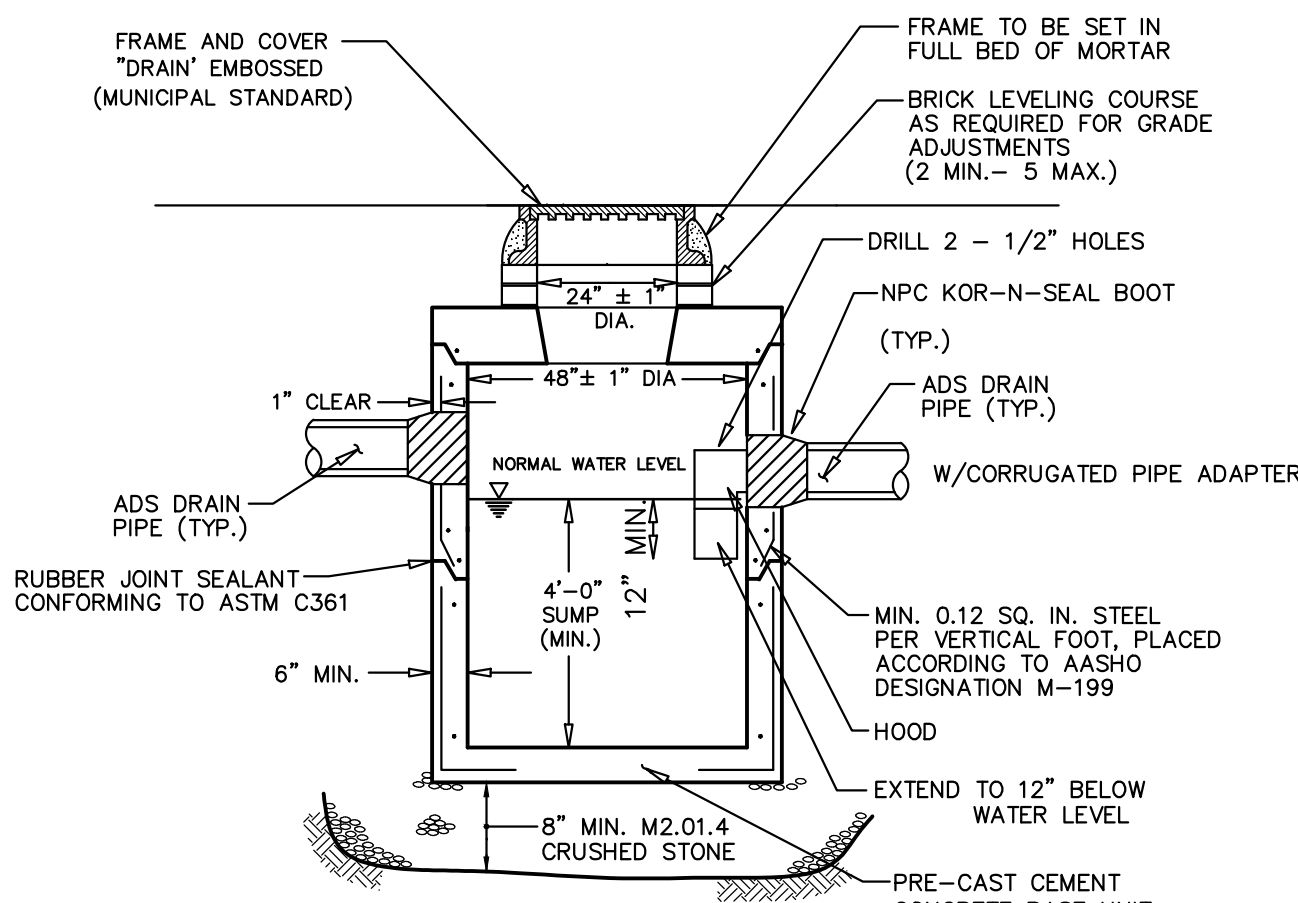


GENERAL NOTES:

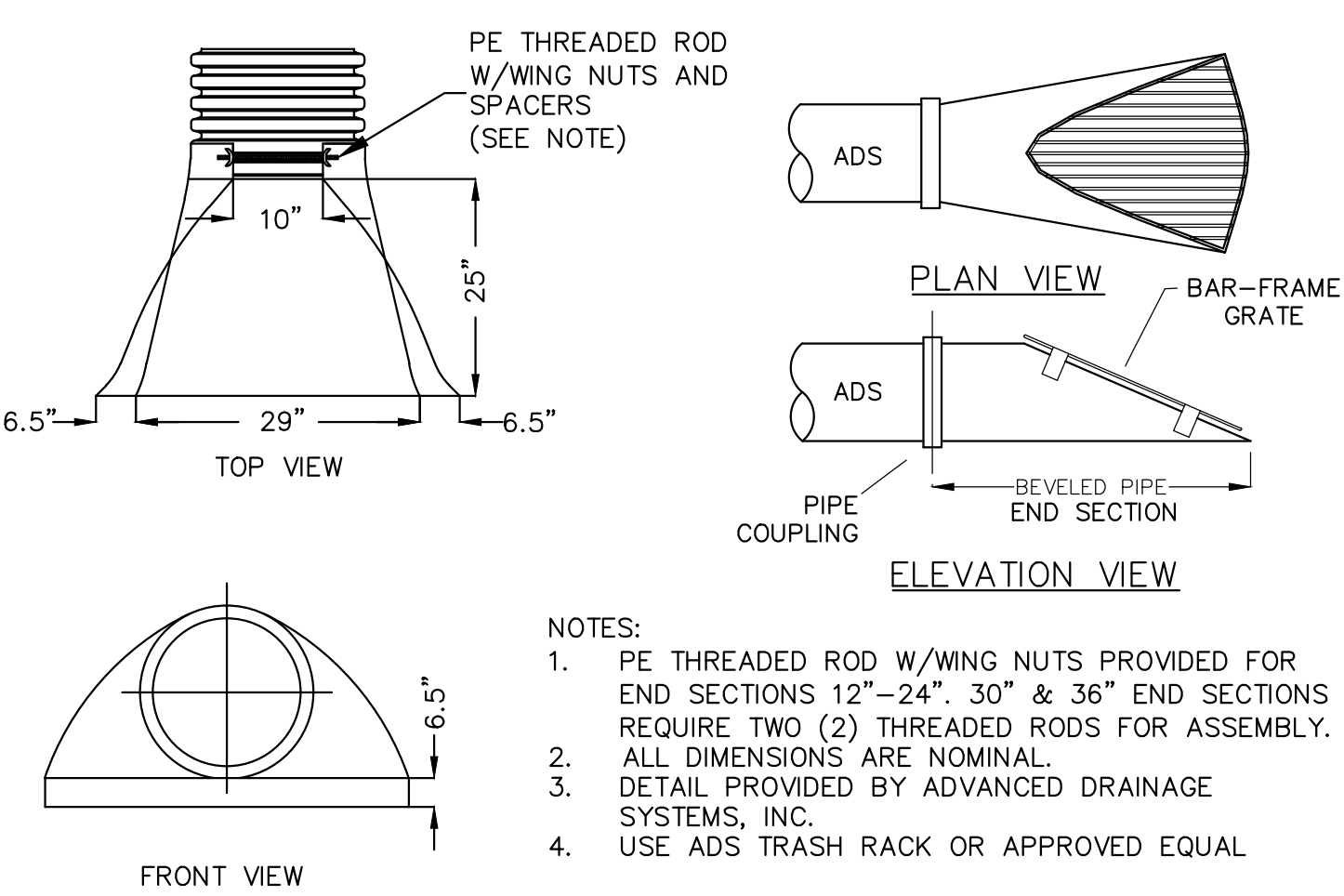
1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE VARIATIONS SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHENEVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, GROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
5. THE ROCKLAND WATER DEPARTMENT SHALL BE NOTIFIED PRIOR TO ANY WORK ON THE WATER SYSTEM.
6. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 100 POUNDS OF GROUND LIMESTONE PER 1000 S.F. OF AREA PLANTED, ALL AREAS TO BE PLANTED WITH GRASS SHALL BE FERTILIZED WITH 10-10-10 AT THE RATE OF 1000 POUNDS PER ACRE OR AS REQUIRED BY SOIL TEST. 40% OF THE NITROGEN SHALL BE IN ORGANIC FORM.
7. ALL LANDSCAPED AREAS TO BE LOAMED & SEEDED UNLESS OTHERWISE NOTED.
8. UNLESS OTHERWISE SPECIFIED ALL WORK IS TO CONFORM TO THE LATEST MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS REGULATIONS.



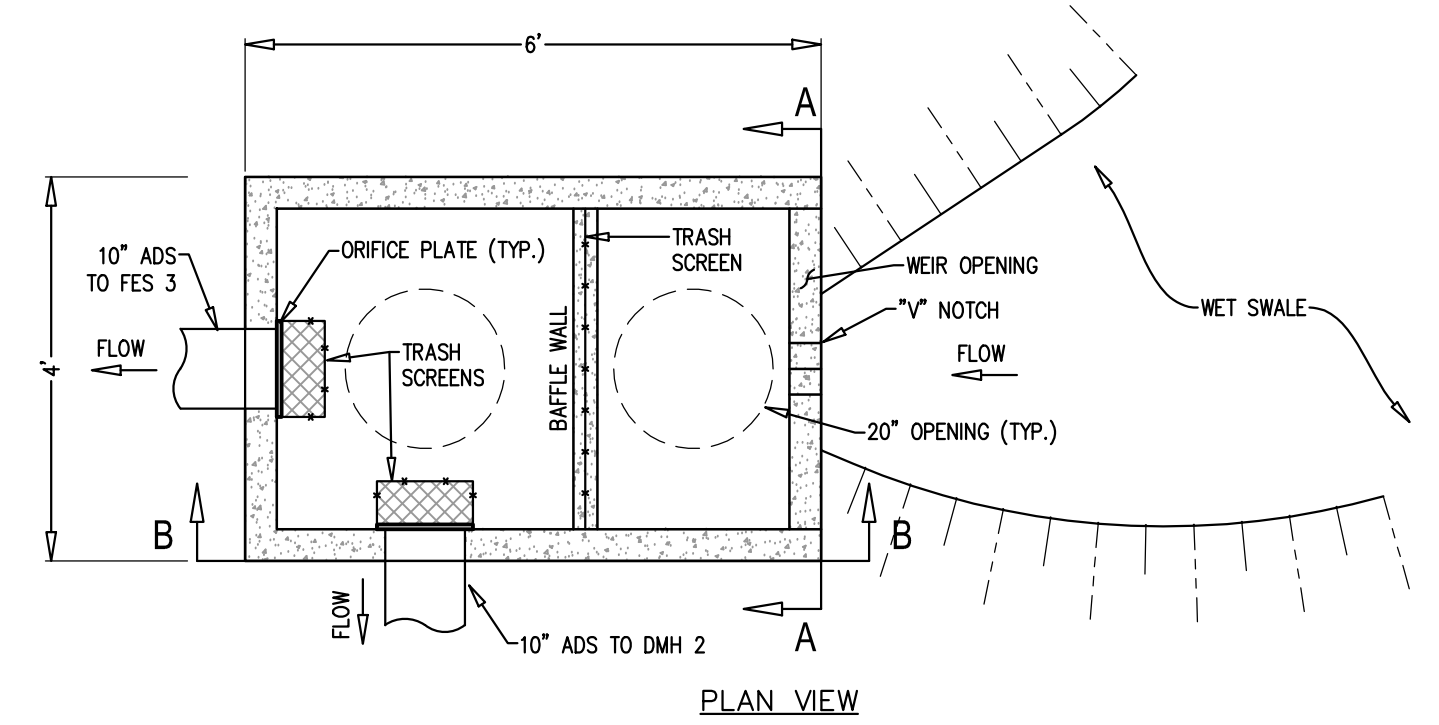
PRE-CAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



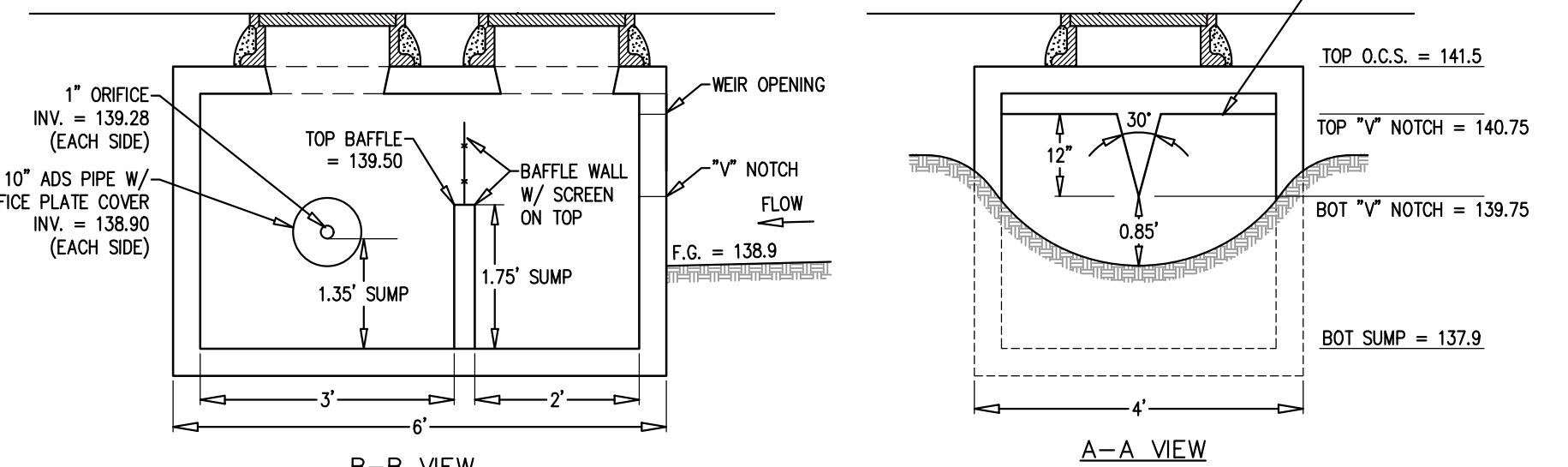
PRE-CAST CONCRETE DRAIN MANHOLE W/ SUMP
NOT TO SCALE



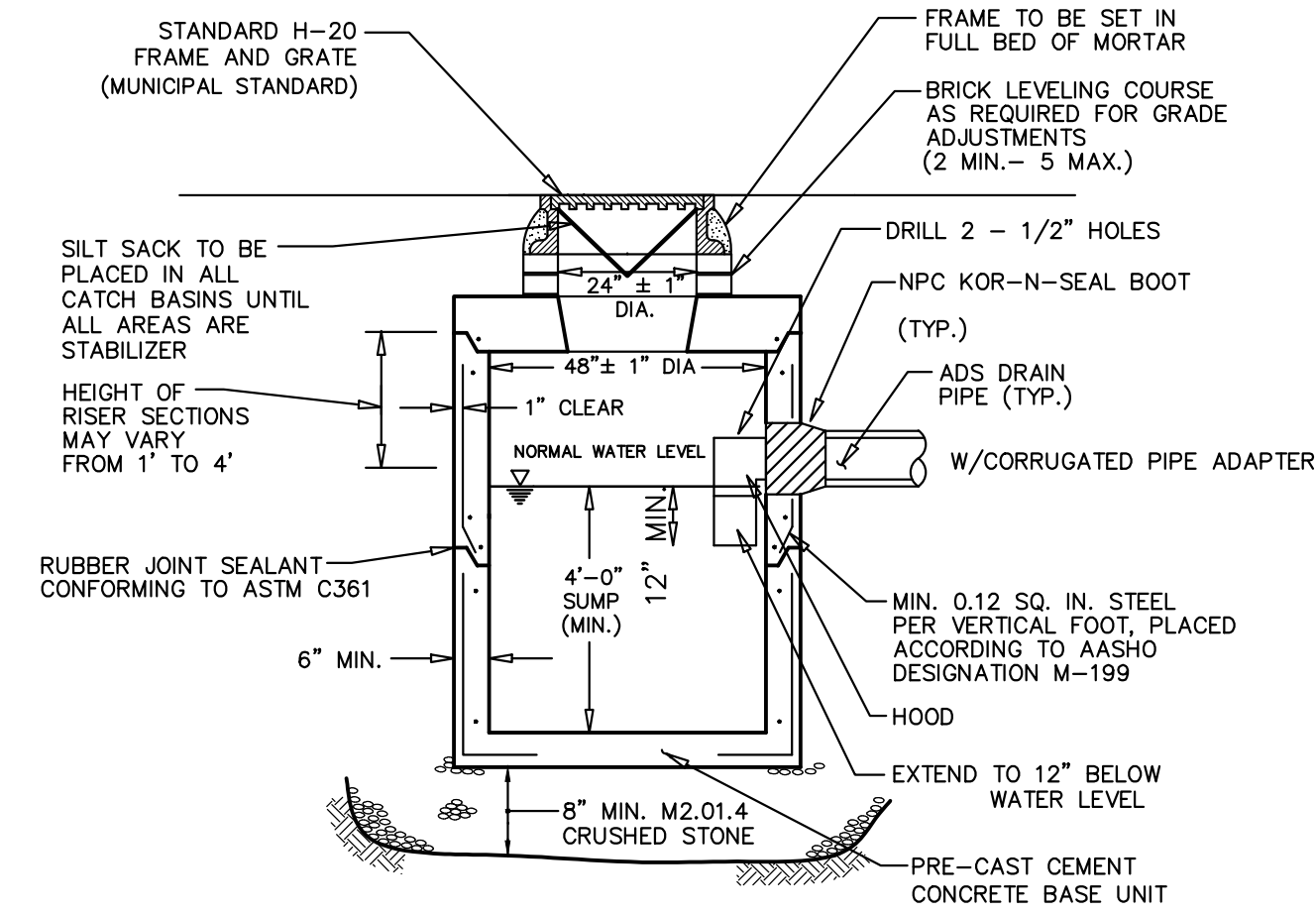
FLARED END SECTION & TRASH RACK DETAIL
NOT TO SCALE



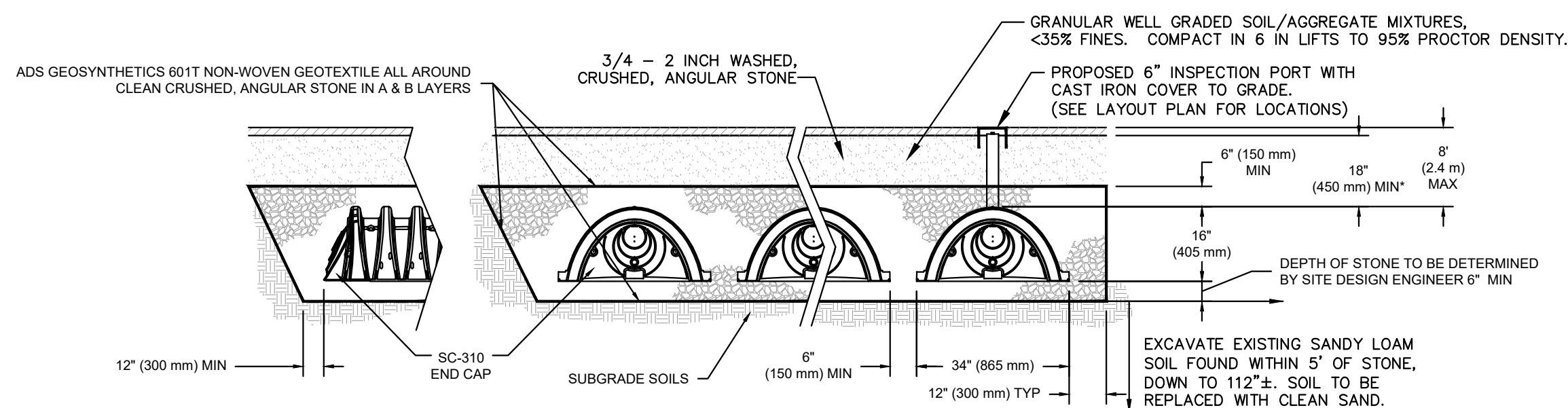
PLAN VIEW



OUTLET CONTROL STRUCTURE
NOT TO SCALE



PRE-CAST CONCRETE CATCH BASIN
NOT TO SCALE



SYSTEM SIZE	# OF UNITS	# OF ROWS	TOP OF STONE	TOP OF CHAMBER	INVERT IN	INLET DIA.	BOTTOM CHAMBER	BOTTOM STONE	GROUNDWATER ELEVATION	FINISHED GRADE
14.83' x 60.16' x 2.33'	32	4	142.33	141.83	140.79	8"	140.50	140.00	137.6 (TP#5)	144.8 ± to 145.4 ±

STORMWATER MANAGEMENT AREA
NOT TO SCALE

NOTES:

1. CHAMBERS SHALL MEET ASTM F 2418-05 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

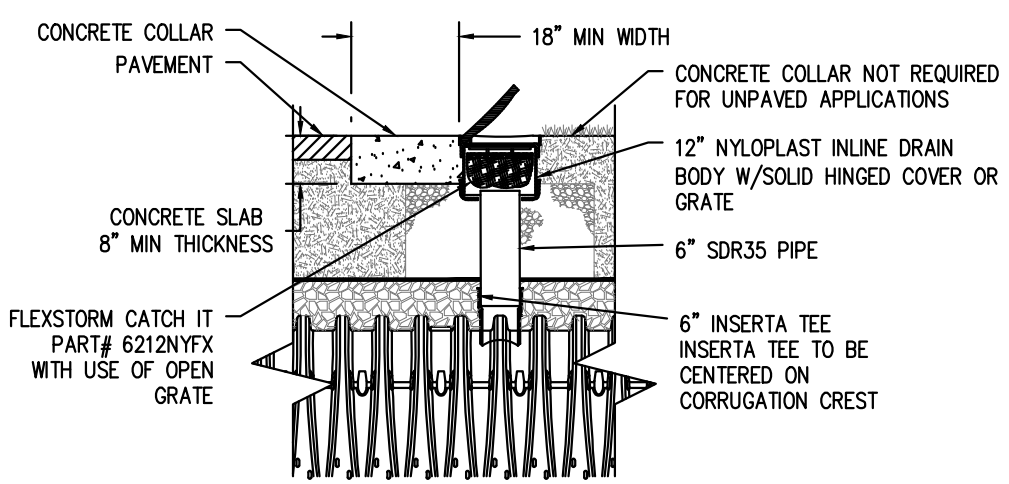
2. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE SAFETY FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

3. THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE SAFETY FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS.

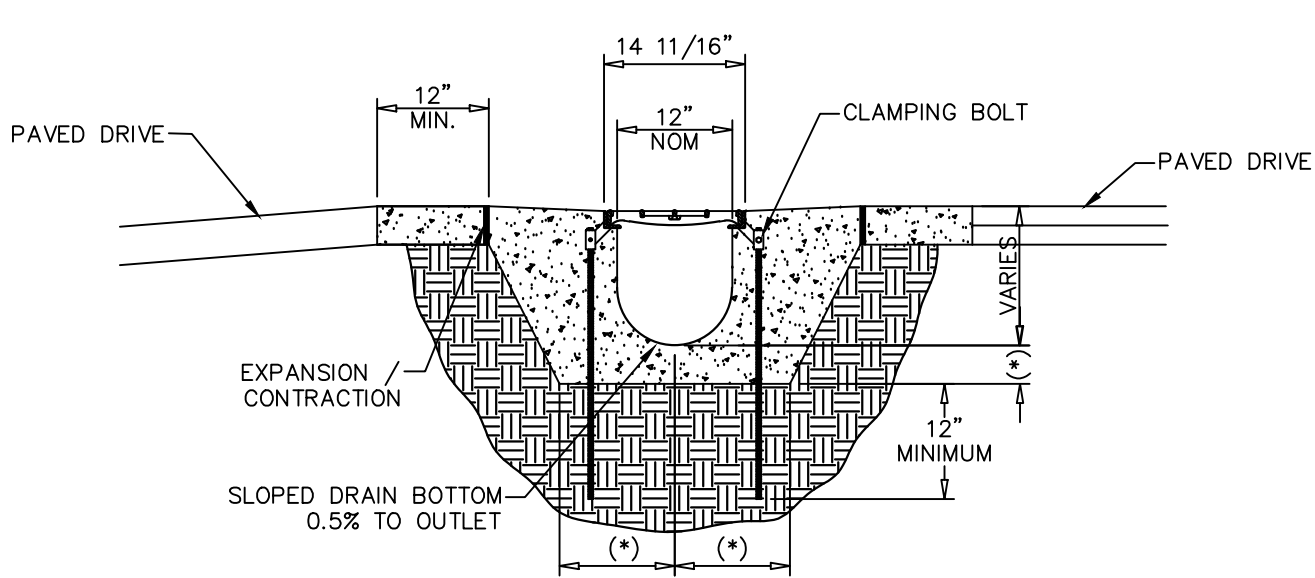
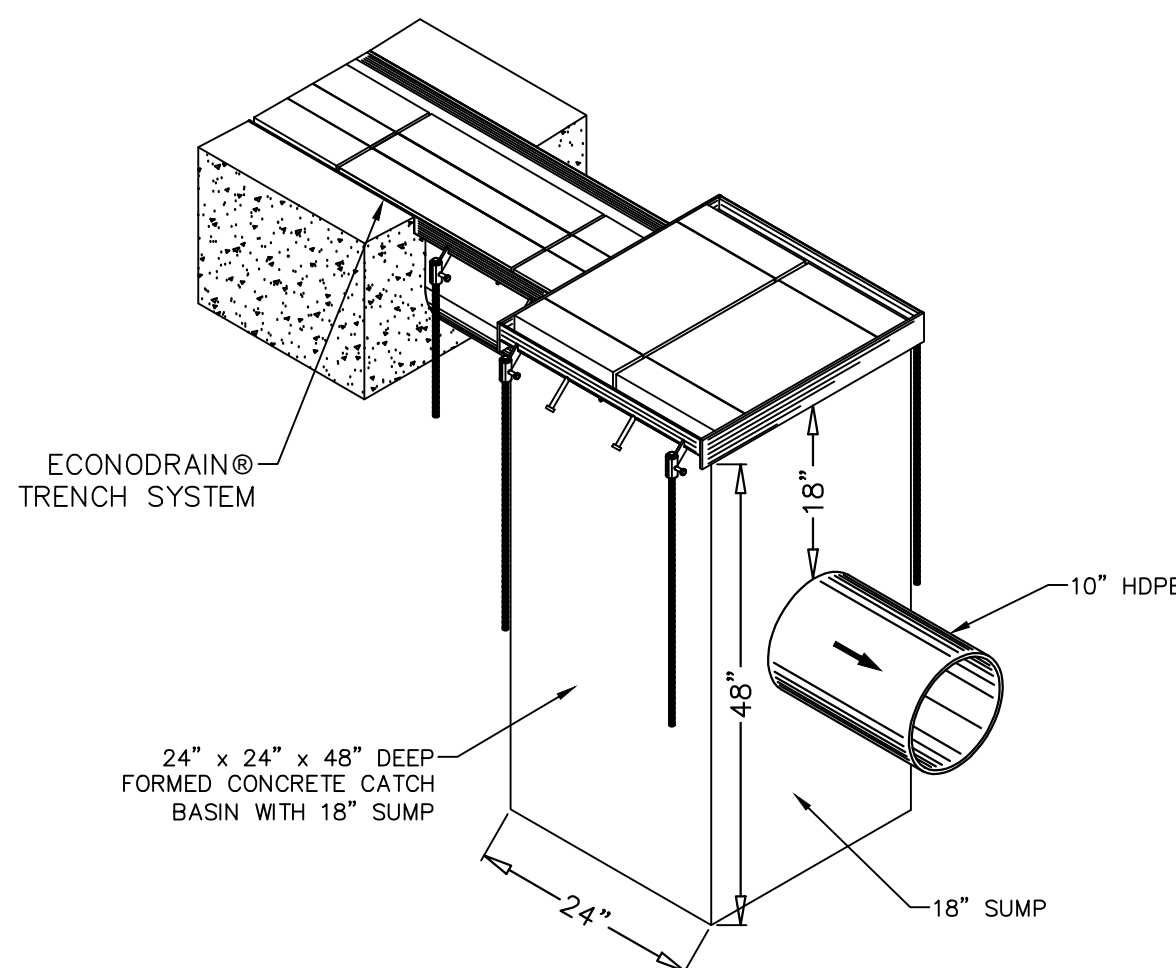
4. UNSUITABLE SOILS : SURFICIAL ORGANICS, SURFICIAL OR BURIED TOP SOIL/SUB SOIL, OLD FOUNDATION, UTILITIES, PAVEMENT, FILL AND ALL OTHER DELETERIOUS MATERIAL.

5. SOIL INSPECTION: THE DESIGN ENGINEER SHALL CONDUCT A BOTTOM OF EXCAVATION TEST, TO VERIFY THE UNSUITABLE MATERIALS HAVE BEEN REMOVED PRIOR TO BACKFILL OF SAND AND PRIOR TO THE INSTALLATION OF THE CRUSHED STONE BASE.

6. PROTECTION: INFILTRATION AREAS ARE TO BE PROTECTED DURING CONSTRUCTION AND AVOID OVER COMPACTION TO INSURE THE INFILTRATION CAPACITY IS MAINTAINED.



STORMTECH INSPECTION PORT DETAIL
NOT TO SCALE



NOTES TO THE SPECIFIER:

1. ADD REBAR AS REQUIRED
2. SPECIFY REQUIRED DIMENSIONS (LABELED WITH *) USING 6" EACH SIDE OF STEEL FRAME AND BELOW EPS FORM AS A RECOMMENDED MINIMUM.
3. SHOW TOP OF GRATE ELEVATION IN PLAN VIEW 4. EXPANSION / CONTRACTION JOINT PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES
5. STANDARD CHANNEL LENGTH IS 8'-0" (96")
6. STANDARD CHANNEL SLOPE IS 0.5%

EconoDrain SERIES #12 INSTALLATION DETAIL
NOT TO SCALE

NOTES:

1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321 "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

2. BEDDING, HAUNCHING & INITIAL BACKFILL: SUITABLE MATERIAL SHALL CONSIST OF CLEAN, HARD, PARTICLES OF GRAVEL MEETING THE FOLLOWING:

SIEVE SIZES	PASSING
3/8"	85-95%
NO. 4	5-15%
NO. 8	0-2%

MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100-600MM) AND 42"-48" (1050-1200MM) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150MM) FOR 30"-36" (750-900MM) CPEP.

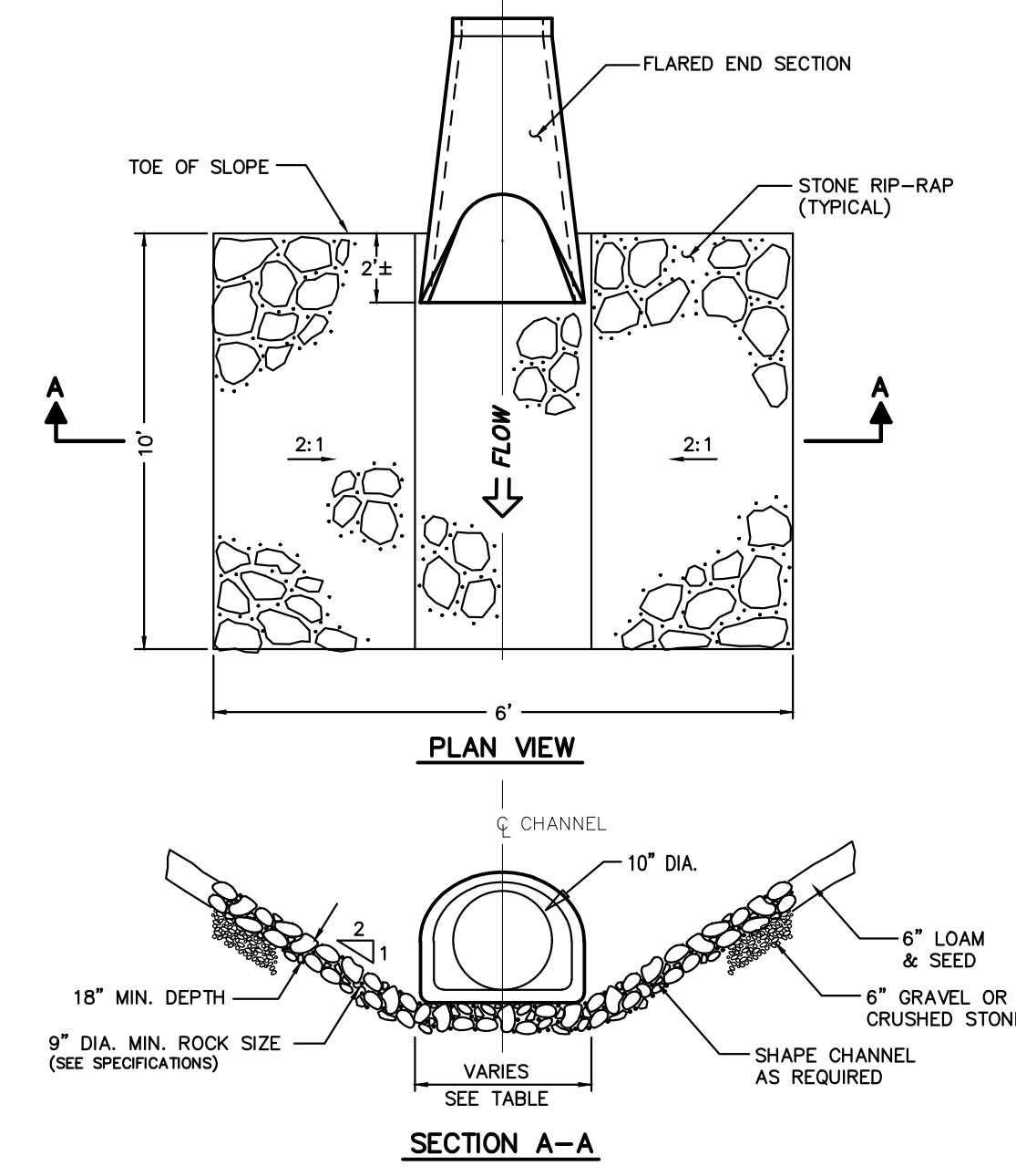
4. MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL Ø in (mm)	MIN. RECOMMENDED TRENCH WIDTH, in (mm)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)
18 (450)	39 (990)

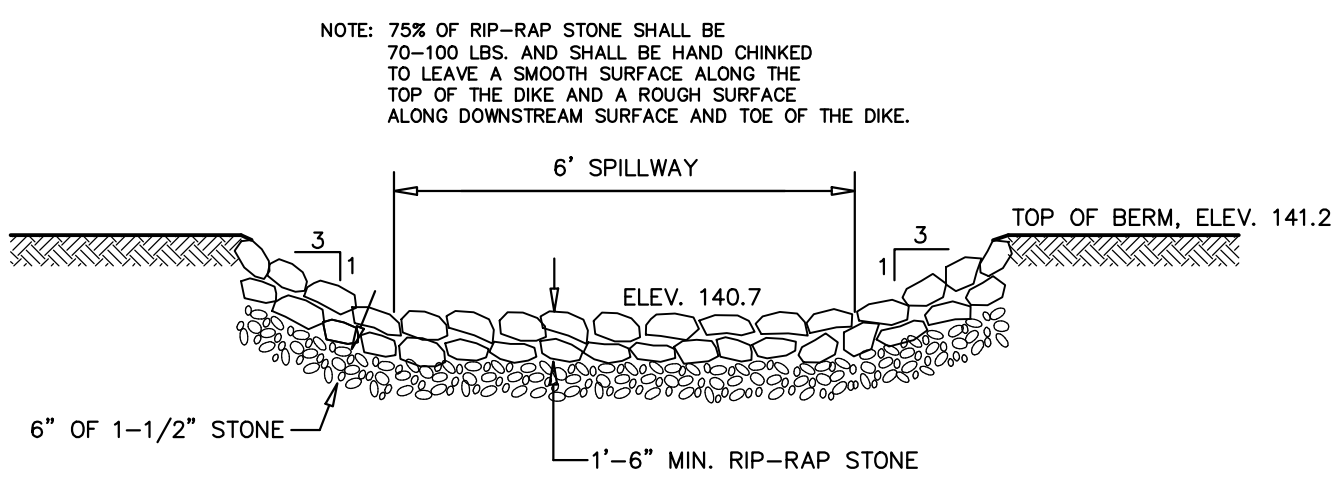
5. MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in (mm)
H25 (FLEXIBLE PAVEMENT)	12 (300) *
H25 (RIGID PAVEMENT)	12 (300)
E80 RAILWAY	24 (610)
HEAVY CONSTRUCTION	48 (1220)

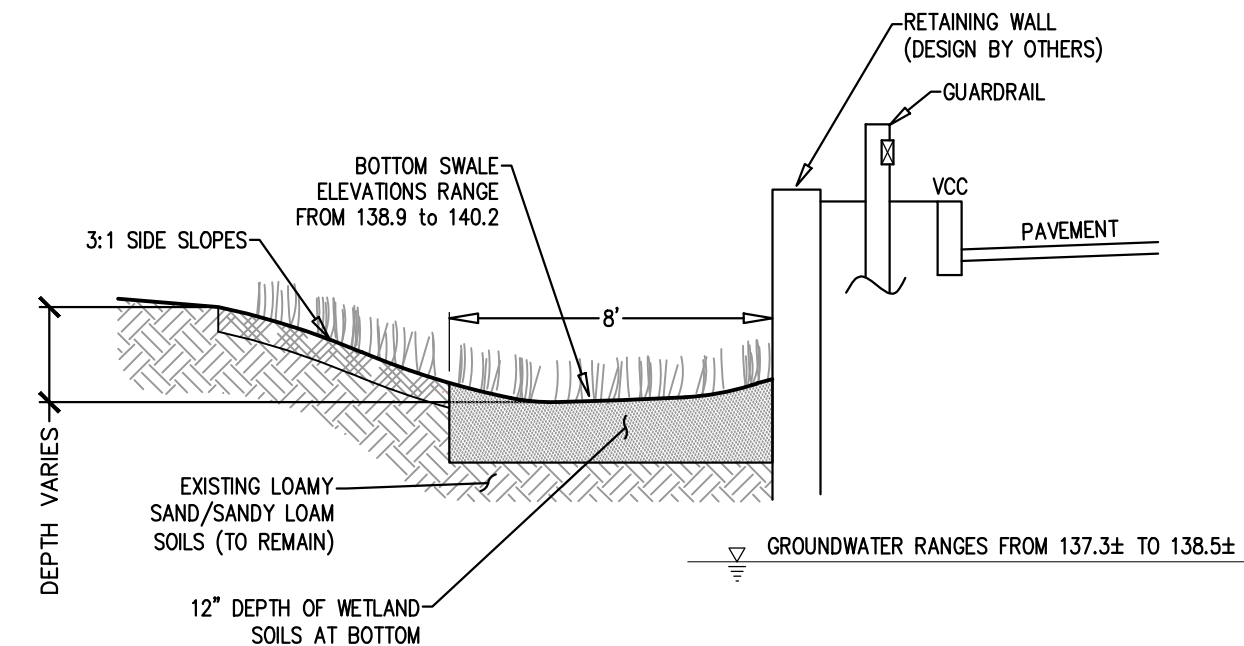
*TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION



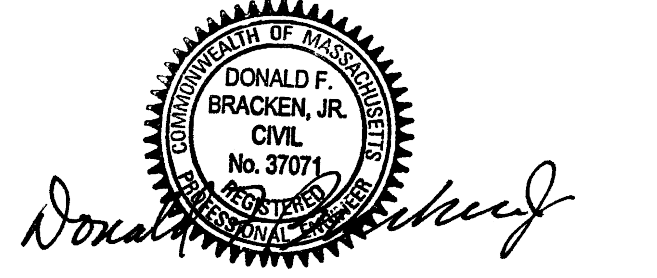
OUTLET EROSION PROTECTION DETAIL
NOT TO SCALE



EMERGENCY SPILLWAY CROSS-SECTION
NOT TO SCALE



WATER QUALITY / WET SWALE
NOT TO SCALE



Prepared By:

BRACKEN ENGINEERING, INC.

49 HERRING POND ROAD
BUZZARDS BAY, MA 02532
(tel) 508.833.0070
(fax) 508.833.2282

19 OLD SOUTH ROAD
NANTUCKET, MA 02554
(tel) 508.325.0044
www.brackeneng.com

Sheet Title:

CONSTRUCTION DETAILS

Project:

PROPOSED COMMERCIAL BUILDING
IN ROCKLAND, MASSACHUSETTS
PREPARED FOR:
CHEBOYGAN PROPERTIES, LLC
#1015 HINGHAM STREET
MAP 4 PARCEL 11

No.	Date	Revision	Description	By
1	FEBRUARY 19, 2020	RMM/ERC/BEI	DFB/AMG	4 of 4

Exhibit B



Letter of Intent ("LOI")

June 23, 2020

David Mitchell
Rader Properties, Inc.
80 Washington Street, Building J
Norwell, MA 02061

RE: Letter of Intent to Lease – 1015 Hingham St, Rockland, MA 02370

Dear Mr. Mitchell:

On behalf of the undersigned (as the prospective "Tenant"), as an affiliate of Cresco Labs, LLC, an Illinois limited liability company, we present this LOI for the above referenced Premises. It is expressly understood by all parties that the terms and conditions herein shall not create a binding agreement on the part of any party herein until such time as a mutually acceptable Lease (as defined below) is executed by the duly authorized officers and/or representatives of both Landlord (as defined below) and Tenant. With that in mind, we propose the following:

Terms and Conditions:

TENANT:	(Please provide)												
GUARANTOR:	Cresco Labs, LLC												
LANDLORD:	Cheboygan Properties, LLC, a Massachusetts Limited Liability Company or its nominee. In any event, the Landlord shall be the fee simple owner of the Property.												
DESCRIPTION OF PROPERTY	Consistent with Exhibit A attached hereto and made a part hereof, the +/- *5,008 rentable square foot space (the "Premises") within that certain single tenant freestanding building ("Building") to be constructed on the +/- 37,017 square feet of land ("Land") commonly known as 1015 Hingham St in Rockland, MA 02370 (collectively, the "Property").												
PERMITTED USE:	A cannabis dispensary, including retail sales of cannabis and related cannabis products and merchandise, provided the foregoing are permissible by state and/or local laws. However, there shall be no smoking or consumption of any product within the Premises or on the Property.												
INITIAL TERM:	The Term of the Lease shall be a period of sixty (60) months starting on the Rent Commencement Date and ending on the last day of the one hundred-twentieth (120 th) month thereafter.												
OPTION/EXTENSION TERM(S):	One (1) five (5) year extension options exercisable upon not less than nine (9) months' advance written notice to Landlord.												
BASE RENT:	<table border="0"><tr><td>Years</td><td>Monthly</td><td>Yearly</td><td>Per Square Foot</td></tr><tr><td>1</td><td>\$18,362.67</td><td>\$220,352.00</td><td>\$44.00, All Net</td></tr><tr><td>2-5</td><td colspan="3">The annual Base Rent shall increase by two and one half percent (2.5%) per year.</td></tr></table>	Years	Monthly	Yearly	Per Square Foot	1	\$18,362.67	\$220,352.00	\$44.00, All Net	2-5	The annual Base Rent shall increase by two and one half percent (2.5%) per year.		
Years	Monthly	Yearly	Per Square Foot										
1	\$18,362.67	\$220,352.00	\$44.00, All Net										
2-5	The annual Base Rent shall increase by two and one half percent (2.5%) per year.												
EXTENSION OPTIONS:	<table border="0"><tr><td>6-10</td><td>Market Rent</td></tr></table>	6-10	Market Rent										
6-10	Market Rent												

*Subject to re-measurement upon completion of the Building.



ADDITIONAL RENT:

The Base Rent paid by Tenant to Landlord shall be fully net and Tenant shall pay as Additional Rent all reasonable operating costs, real estate taxes, repairs, maintenance, and if necessary, replacements for the Property, subject to the terms of the Lease. Tenant will not be obligated to pay any portion of any increase in real estate taxes during the initial term resulting from Landlord's sale or transfer of, or a change of ownership of, the Property or the Premises.

TENANT'S PROPORTIONATE SHARE: 100%

LEASE EXECUTION DATE:

The parties shall use best efforts to execute a lease on or about ~~June~~ ^{August} 15, 2020. ^{JK} ^{BSL}

POSSESSION/COMMENCEMENT:

Upon substantial completion of Landlord's Work (not to exceed six (6) months from lease execution, subject to reasonable or unforeseeable delays) and following Tenant's receipt of necessary municipal approvals and permits, the last of which being the "Commencement Date".

RENT COMMENCEMENT DATE:

Upon the earlier of, ninety (90) days from the Commencement Date or Tenant opening for business to the public.

EXCLUSIVE USE:

Landlord shall not allow the use of any tenant in the Building or Adjacent Office (1001 Hingham St, Rockland, MA) building for the sale, of any medical or (if permissible) adult use cannabis related products of any kind, including without limitation, CBD oil or other related products derived or related to cannabis related products.

RENT ABATEMENT/CONCESSIONS: None

LANDLORD'S WORK:

Landlord shall secure the necessary permits and approvals and construct the Building consistent with the size and dimensions described on Exhibit A attached hereto and made a part hereof and deliver the premises on the Commencement Date in Vanilla Box Condition (collectively, "Landlord's Work – Exhibit B"). All mechanicals, plumbing, electrical, roof, structure, HVAC, etc. will be fully functional in good working order and ready for Tenant to commence the Tenant Improvements upon substantial completion of Landlord's Work. Landlord shall provide Tenant with a one (1) year warranty on labor and parts for Landlord's Work. Furthermore, Landlord shall seek enforcement, upon Tenant's request and/or as needed, of any warranty issued by any contractor or other party performing the Landlord's Work. In the event that Landlord shall fail to so enforce any such warranty issued by any contractor or other party, Tenant shall be entitled to enforce any such warranty as if Tenant was Landlord and Landlord shall cooperate in all reasonably respects with such enforcement.

TENANT IMPROVEMENT ALLOWANCE:

Landlord shall provide Tenant with One Hundred Twenty-Five Thousand and no/100 dollars (\$125,000.00) in Tenant Improvement allowance to be reimbursed upon Tenant providing lien waivers and upon Tenant's opening for business to the public.

MAINTENANCE:

Landlord shall be responsible for the cost to maintain the structural components of the Building only. Landlord shall obtain, at Landlord's sole cost and expense, a warranty for the roof of not less than fifteen years.

GENERAL OBLIGATIONS:

Tenant will be responsible for the general upkeep and maintenance of the Premises including security measures related to the Premises and Tenant's Permitted Use.

UTILITIES:

Provided Landlord has properly installed prior to the Commencement Date, all necessary meters and submeters (if applicable), Tenant shall pay, directly to the appropriate supplier, the cost of all light, power, electricity, natural gas, fuel, oil, sewer service, sprinkler stand-by service, water, telephone, refuse disposal and other utilities and services supplied to the Premises from and after the Commencement Date.



SIGNAGE:

Tenant will be allowed maximum signage on the exterior of the Premises and, to the extent available, upon any shopping center related monument/pylon signs, at Tenant's expense and subject to applicable law, which will be consistent with Tenant's prototypical signage design. Upon termination of the lease term either by time or another reason Tenant shall, at Landlord's election, leave any and all signage which shall inure to the benefit of Landlord with no right of reimbursement to Tenant, or shall cause same to be removed and the property restored to its condition prior to the installation of the signage.

EARLY TERMINATION RIGHTS:

Prior to the expiration of the term including any lease extensions; if any of the following events occur, after Tenant's pursuit of all available commercially reasonable appeals in connection therewith, and the expiration of all such appeals, either party may terminate the Lease by delivering notice to the other party, which termination shall be effective ten (10) days following the recipient party's receipt of such notification:

(A) Any federal governmental agency (i) notifies Landlord or Tenant that Tenant's Permitted Use of the Premises is unlawful under federal law resulting in an official change in federal enforcement policy, (ii) makes a civil or criminal forfeiture demand, action, or similar enforcement threat against the Premises, or any portion thereof, (iii) files or threatens to file criminal charges against Landlord and/or Tenant, and/or (iv) seizes the Premises and/or any portion thereof; or (B) If any Governmental Authority impose any restrictions which prevents Tenant's Permitted Use on or about the Premises.

In the event of an early termination described above, Tenant shall reimburse Landlord for any unamortized brokers commissions plus all unamortized costs of all tenant improvements already paid for by Landlord

LEASE FORM:

The parties agree to use Landlord's Lease form.

CONTINGENCY:

The Lease and the respective obligations therein shall be contingent upon Tenant receiving all state, municipal and other related approvals and permits necessary for Tenant's Permitted Use within the Premises on or before the Commencement Date.

ENVIRONMENTAL:

Landlord will indemnify Tenant from all costs or expenses arising out of or related to any current or future environmental conditions located in on or around the Building, provided the foregoing environmental conditions were not the direct result of Tenant's use of the Premises.

PARKING:

Tenant shall have exclusive access to all parking stalls located on the Property, totaling 22 spots. In addition Tenant shall have the exclusive use of ten (10) additional parking spots, as shown on Exhibit A, via the adjacent office building located at 1001 Hingham St. The additional ten (10) parking spots shall come at a cost of \$100 per month per space increasing by two and half percent (2.5%) for each year of the Term.

ASSIGNMENT/SUBLETTING:

Tenant may assign the Lease or sublet the Premises to any Affiliated (defined below) of Tenant or Guarantor and or assign, transfer, or merge the direct or indirect interests in Tenants by purchase, merger or other change of control transaction with Landlord's consent. As used herein, "Affiliate" shall mean any corporation, limited liability company, partnership, business entity or person that is directly or indirectly controlled by Tenant and/or its Guarantor (collectively, "Permitted Transfer"). Except with respect to a Permitted Transfer, Tenant shall not assign the Lease or sublet the Premises without Landlord's prior written consent, which consent shall not be unreasonably withheld, conditioned, or delayed.



RIGHT TO GO DARK:

Tenant shall have no obligation to open or operate at the Premises, provided Tenant continues to pay rent owed under the Lease and complies with all other applicable Tenant obligations under the Lease.

ON-GOING CO-TENANCY:

N/A

RELOCATION:

N/A

CONFIDENTIALITY:

At all times during the negotiation of a final Lease, Landlord represents that Landlord shall not disclose or discuss with any unrelated third party the terms and conditions of the Lease or any information regarding Tenant.

GUARANTY:

Cresco Labs, LLC will guarantee the first five (5) years of the initial term, followed by a one (1) year rolling guarantee for the remainder of the initial term based on the previous year's Base Rent. There shall be no guarantee during the Option Periods.

RIGHT OF FIRST REFUSAL:

If, at any time during the term of this Lease including any extensions terms, Landlord decides to sell to an unrelated third party ^{and} is presented a purchase offer for consideration from an unrelated third party, then Tenant shall have fifteen (15) days from the receipt date of Landlord's written notice to match the offer. *JM BSE*

LANDLORD LENDER APPROVAL:

Landlord represents it does not have any lender or secured mortgage financing on the Property. In the event that the Landlord elects to secure mortgage financing for the Property, the Lease shall include an express representation and warranty from Landlord such that if within thirty (30) days after execution of a final lease agreement, Landlord shall provide written approval from its existing lender or if necessary, from a new lender expressly approving Tenant and Tenants Permitted Use, or (2) the express representation and warranty from Landlord that Landlord shall pay off any existing debt on the Property prior to Tenant's receipt of all Approvals. If Landlord breaches the foregoing representation and warranty, Tenant shall have the unilateral right to terminate the lease and Landlord shall reimburse Tenant for all of Tenant's out of pocket expenses related to the Lease and any licenses or other fees regarding same.

BROKERS:

Landlord acknowledges that Dan Molnar of Baum Realty Group, LLC and Jim Bagley of Atlantic Retail are acting as agents for Tenant in this transaction. Landlord shall pay Tenant's agent a commission which is common and customary in the market and which shall be agreed upon in a separate agreement between Landlord and Tenant's agent.

LANDLORD REPRESENTATIONS AND WARRANTIES:

Landlord represents and warrants that there are no existing, pending, or contemplated agreements (recorded or otherwise) that would prevent or interfere with Tenant's Permitted Use.

SIGNATURES APPEAR ON THE FOLLOWING PAGE



It is further understood by all parties that this is only a general outline of terms and conditions and does not constitute a binding contract, nor an agreement to enter into a binding lease, nor are any legal obligations intended to be created herein. Any binding legal obligations of any nature shall be only those set forth in a definitive lease agreement that has been agreed to by the parties' respective counsel and signed and delivered by both Tenant and Landlord (the "Lease").

If the terms of this LOI are acceptable to you, please provide us with your confirmation of your general acceptance of the above proposal by affixing your signature below and returning a copy of same within Seven (7) days after the date of this letter. I look forward to your response to what I hope will be a mutually beneficial transaction.

Very truly yours,

Baum Realty Group, LLC
Dan Molnar

By: _____
Name: _____
Title: _____

Agreed & Accepted on behalf of:

PROSPECTIVE TENANT

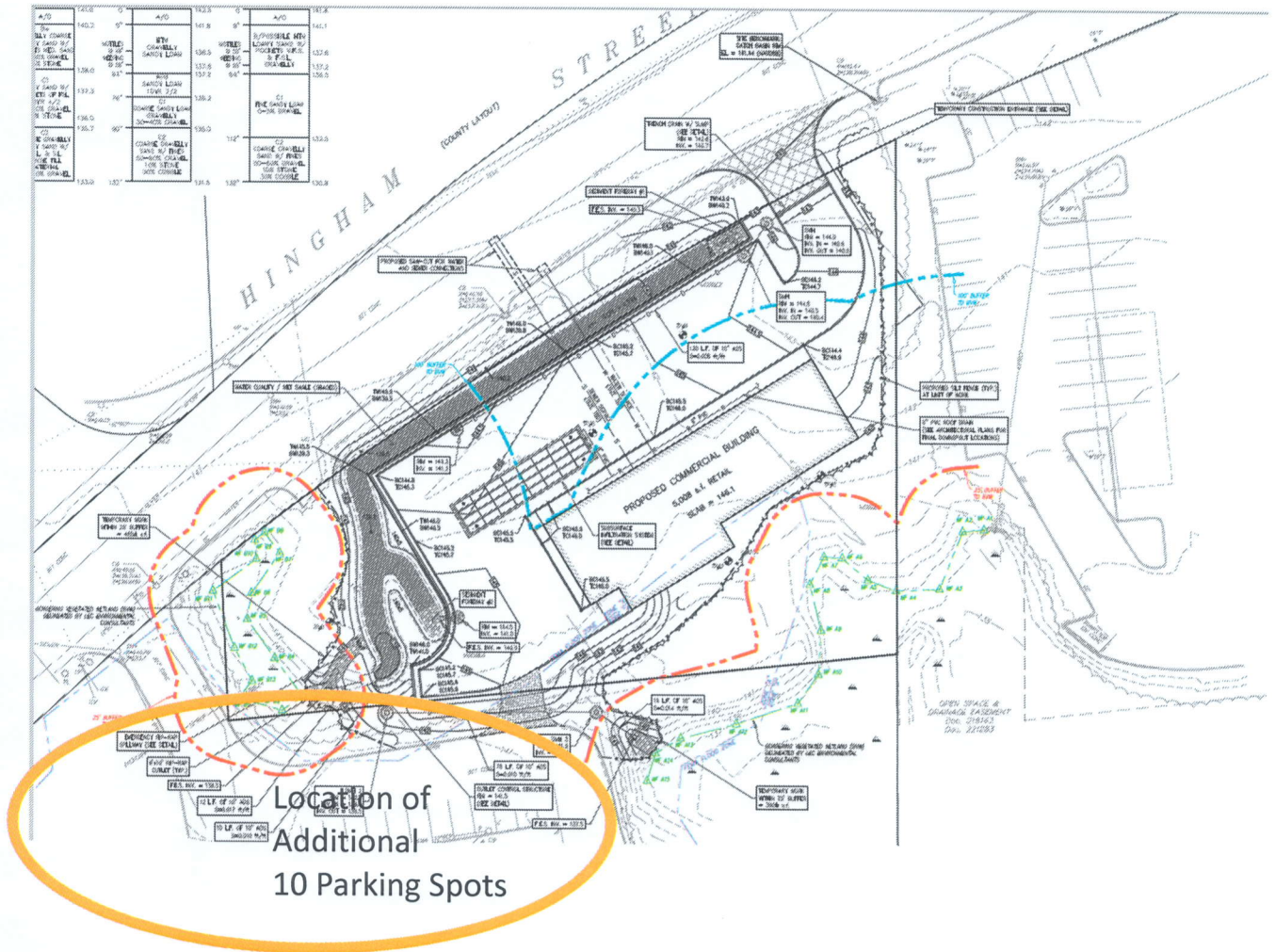
By: 
Name: Barrington Rutherford
Title: Senior Vice President, Real Estate
Date: June 30, 2020

Agreed & Accepted on behalf of:

PROSPECTIVE LANDLORD

By: 
Name: James F. Eader
Title: Manager
Date: 6/26/20

SITE PLAN
EXHIBIT A





LANDLORDS WORK LETTER
EXHIBIT B

- a. Building Envelope: A watertight building shell in compliance with all applicable laws and codes.
 - b. Floor: deliver level floors suitable for Tenant's use and occupancy and ready for tenant finishes and improvements.
 - c. Restrooms: install 2 rough ADA bathrooms, (in locations desired and approved by Tenant).
 - d. HVAC: Install a HVAC system consisting of not less than 18-25 tons of cooling.
 - e. Electric: install at a minimum 400amps, 120/208V, 3-phase, 4 wire service with panels.
 - f. Water and sewer: install at a minimum 1-1/4" water, 6" waste, and 4" vent lines stubbed into the Premises distributed to bathrooms and breakroom per Tenant's plans and at Landlord's sole cost and expense.
 - g. Gas: install at a minimum 1-1/2" medium pressure line (2psi). Extend line to roof for roof mounted gas fired emergency generator in a location in accordance with Tenant's plans.
 - h. Install the required roof reinforcement for the roof mounted gas fired emergency generator.
- Rear Door: install one (1) 3'-0" x 7'-0" hollow metal door and fully welded frame in a location in accordance with Tenant's plans.

Exhibit C

Exhibit D



August 27, 2020

Arturo Radilla
Cresco Labs
400 W Erie Street, Suite 110
Chicago, Illinois 60654

Re: Traffic Review Letter
Adult Use Retail Marijuana Establishment and Registered Marijuana Dispensary
1015 Hingham Street, Rockland, MA
Fuss & O'Neill Reference No. 20200765.A10

Dear Mr. Radilla:

Cresco Labs proposes to construct an Adult Use Retail Marijuana Establishment and Registered Marijuana Dispensary at 1015 Hingham Street in Rockland, Massachusetts. The parcel is recognized by the Rockland Town Assessor as parcel 04-011 and is currently undeveloped and wooded. The property is located in Rockland's Industrial Park-Hotel (H-1) zone, and is bounded by Hingham Street to the north and west, and commercial properties to the south and east.

The proposed development includes a 5,008 square foot building with 23 off-street parking spaces provided on-site, and access provided by two driveways. One driveway is proposed on the northeast portion of the property directly onto Hingham Street, approximately 325 feet east of its intersection with Commerce Road. The other is proposed to be in the southeast portion of the property via the 1001 Hingham Street driveway at the signalized intersection of Hingham Street and Commerce Road.

Fuss & O'Neill has been retained to study the impact of the proposed development on traffic conditions throughout the adjacent roadway network. This letter has been prepared to document the number of trips the proposed development is expected to generate, as well as the anticipated distribution of those trips.

Trip Distribution

The distribution of traffic entering and exiting the proposed site was applied to the road network based on the existing regional traffic distributions and the layout of the adjacent roadway network. During the peak hours, the following arrival distributions of traffic are anticipated:

108 Myrtle Street
Suite 502
Quincy, MA
02171
t 617.282.4675
800.286.2469
f 617.481.5885

www.fando.com

California
Connecticut
Maine
Massachusetts
New Hampshire
Rhode Island
Vermont

Mr. Arturo Radilla

August 27, 2020

Page 2

- 60 percent from east of the site
- 40 percent from west of the site

A regional arrival/departure distribution for the new site generated traffic traveling to and from the proposed site is shown in the attached *Figure 1*.

Trip Generation

The expected site generated traffic for the weekday afternoon and Saturday peak hours was calculated using existing empirical data from the Institute of Transportation Engineers (ITE) publication Trip Generation, 10th edition, 2017. This publication is an industry-accepted resource for determining trip generation.

The proposed land use can be modeled with Land Use Code (LUC) 882, “Marijuana Dispensary.” This LUC is expected to provide a conservative estimate of the number of trips generated by this facility.

Based on the proposed 5,000 square feet of retail space, ITE Trip Generation indicates that the facility is expected to generate 109 vehicle trips (54 entering, 55 exiting) during the weekday afternoon peak hour, and 183 vehicle trips (92 entering, 91 exiting) during the Saturday peak hour.

Trip Generation analysis was also performed for LUC 937, “Coffee/Donut Shop with Drive-Through Window” to determine the number of trips generated by a land use already permitted within the zone. A facility of this nature would be expected to generate 217 vehicle trips (108 entering, 109 exiting) during the weekday afternoon peak hour, and 439 vehicle trips (219 entering, 220 exiting) during the Saturday peak hour.

Comparative analysis of the LUC 882 (Marijuana Dispensary) and LUC 937 (Coffee/Donut Shop with Drive Through Window) indicates that the number of peak hour trips generated by the proposed dispensary land use would be less than half of what a coffee shop with a drive through window would be expected to generate.

A summary of the peak hour trip generation information for the proposed facility is provided in the attached *Figure 2*.

Conclusions

The intent of this trip generation analysis is to document the anticipated trips to be generated by the proposed cannabis retail establishment and determine the expected distribution of these trips. The analysis indicates that the proposed development will generate 109 vehicle trips during the



FUSS & O'NEILL

Mr. Arturo Radilla

August 27, 2020

Page 3

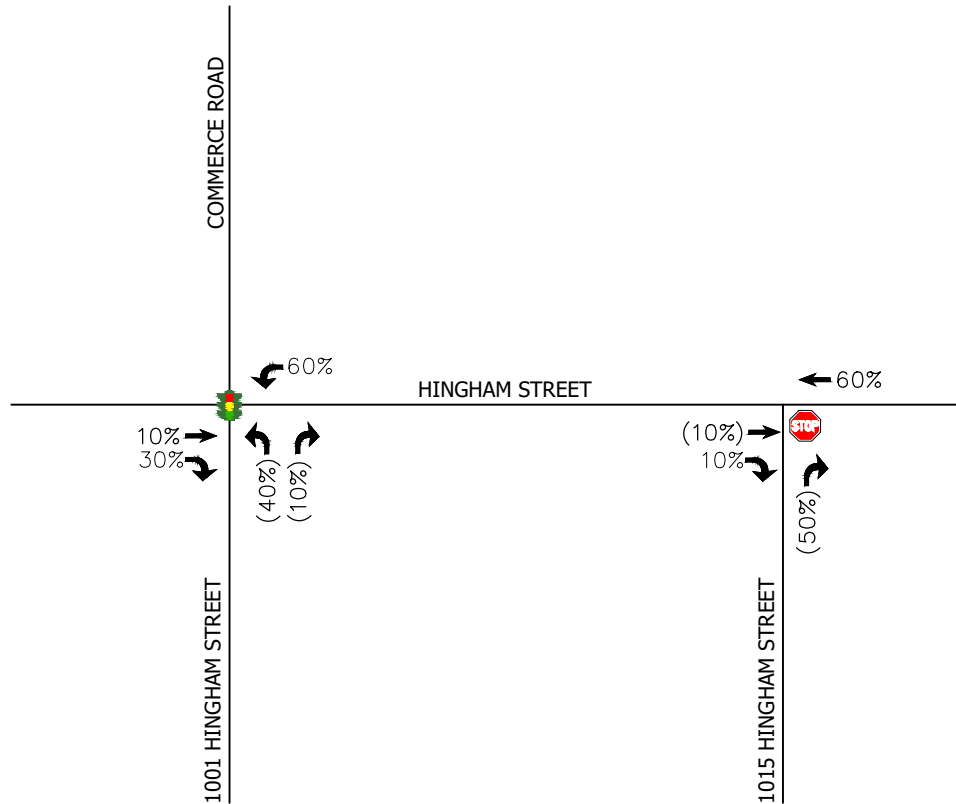
afternoon peak hour, and 183 vehicle trips during the Saturday peak hour. Based on the layout of the existing roadway network and local traffic patterns, 60 percent of these trips are expected to access the site from the east, and 40 percent are expected to access the site from the west.

Sincerely,

Katherine Patch, EIT
Transportation Engineer

Matthew W. Skelly, PE, PTOE
Project Manager

Attachments: Traffic Volume Figures
Trip Generation Worksheets



XXX(XXX) = ENTERING TRAFFIC (EXITING TRAFFIC)



FUSS & O'NEILL

108 MYRTLE STREET, SUITE 502
QUINCY, MA 02171
617.282.4675
www.fando.com

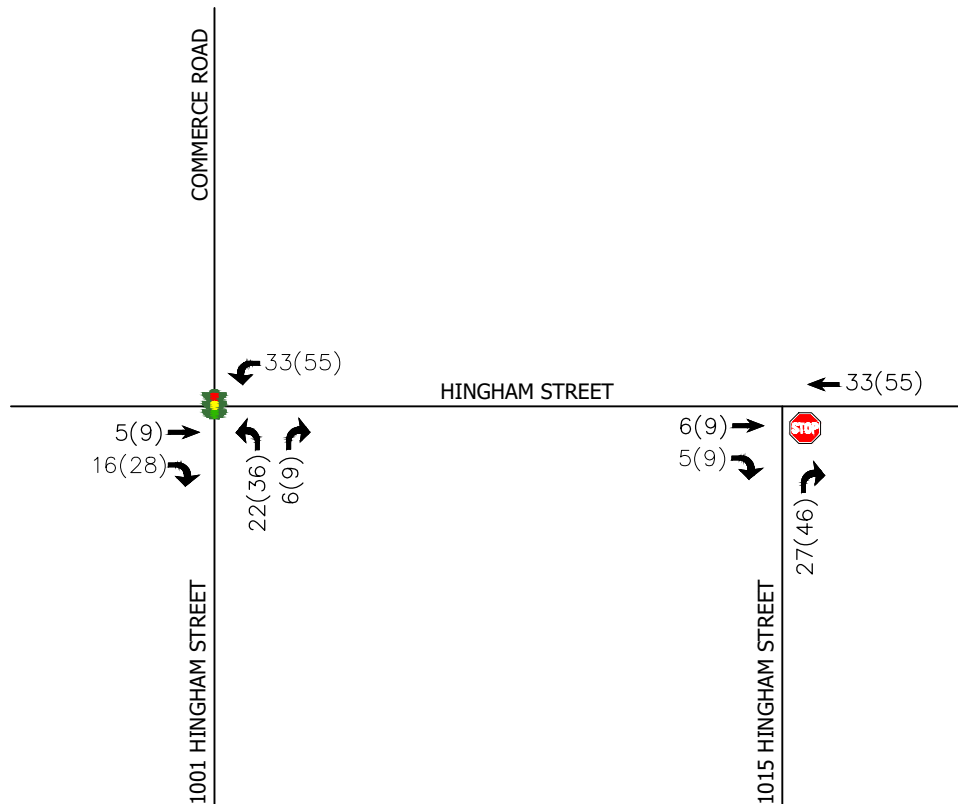
FIGURE 1: TRIP DISTRIBUTION

PROJ. NO: 20200765.A10

1015 HINGHAM STREET
ROCKLAND, MA

AUGUST 2020

SITE GENERATED TRAFFIC VOLUMES			
	ENTER	EXIT	TOTAL
AFTERNOON	54	55	109
SATURDAY	92	91	183



XXX(XXX) = WEEKDAY PM PEAK HOUR(SATURDAY PEAK HOUR)



FUSS & O'NEILL

108 MYRTLE STREET, SUITE 502
QUINCY, MA 02171
617.282.4675
www.fando.com

FIGURE 2: TRIP GENERATION

PROJ. NO: 20200765.A10

1015 HINGHAM STREET
ROCKLAND, MA

AUGUST 2020

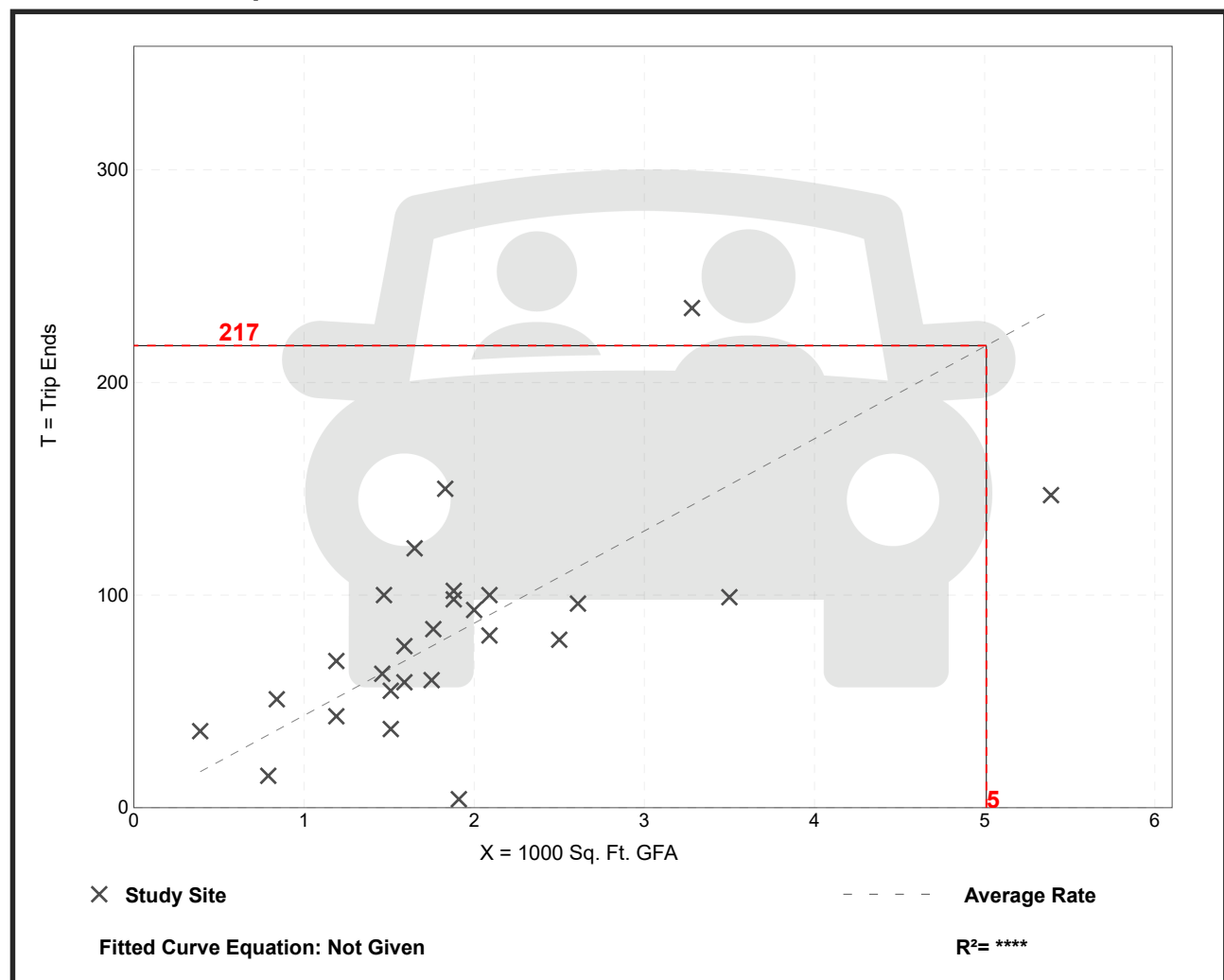
Coffee/Donut Shop with Drive-Through Window (937)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
 On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
 Setting/Location: General Urban/Suburban
 Number of Studies: 26
 Avg. 1000 Sq. Ft. GFA: 2
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
43.38	2.09 - 92.31	18.88

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Coffee/Donut Shop with Drive-Through Window (937)

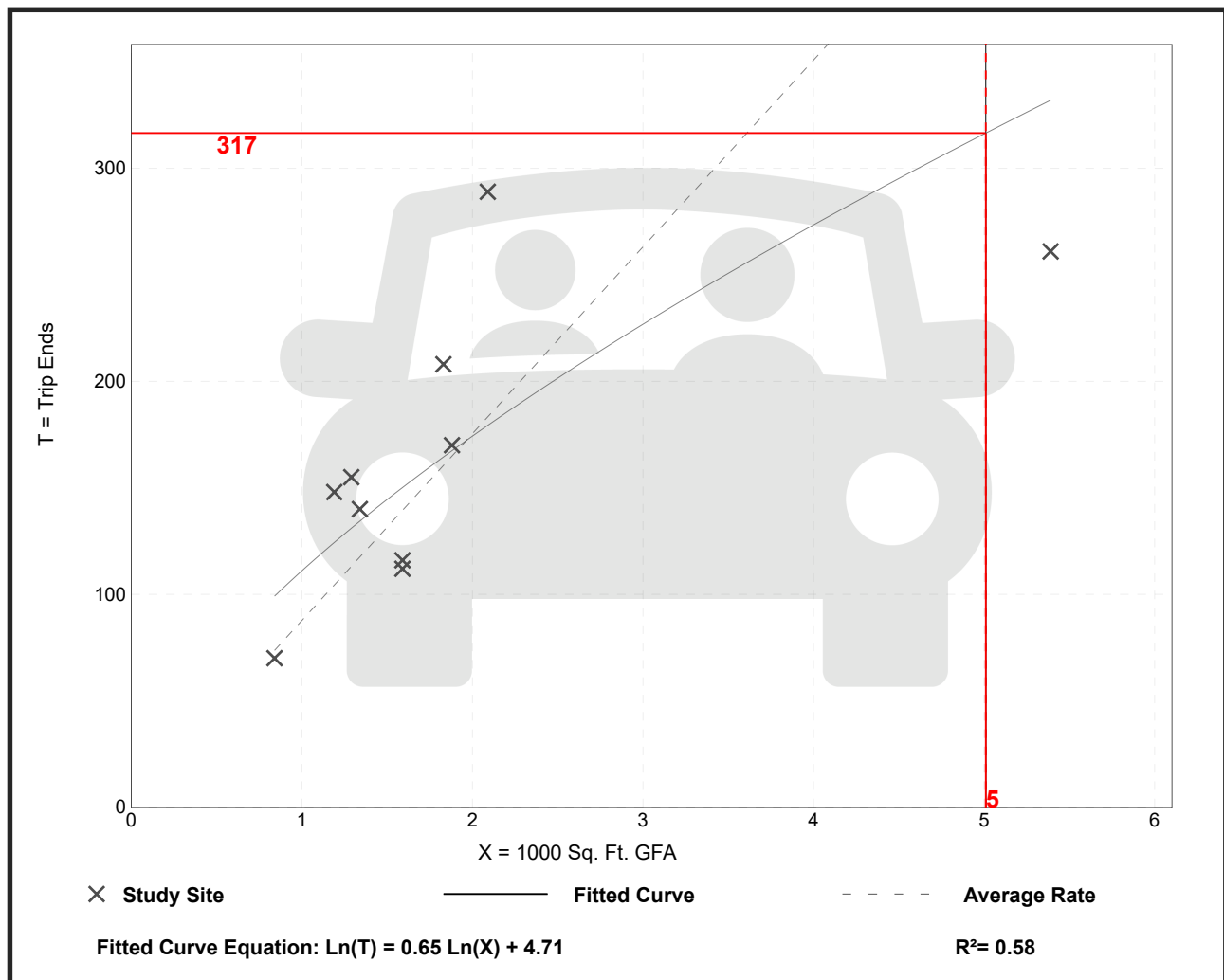
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

Setting/Location: General Urban/Suburban
Number of Studies: 10
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
87.70	48.42 - 138.28	33.38

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

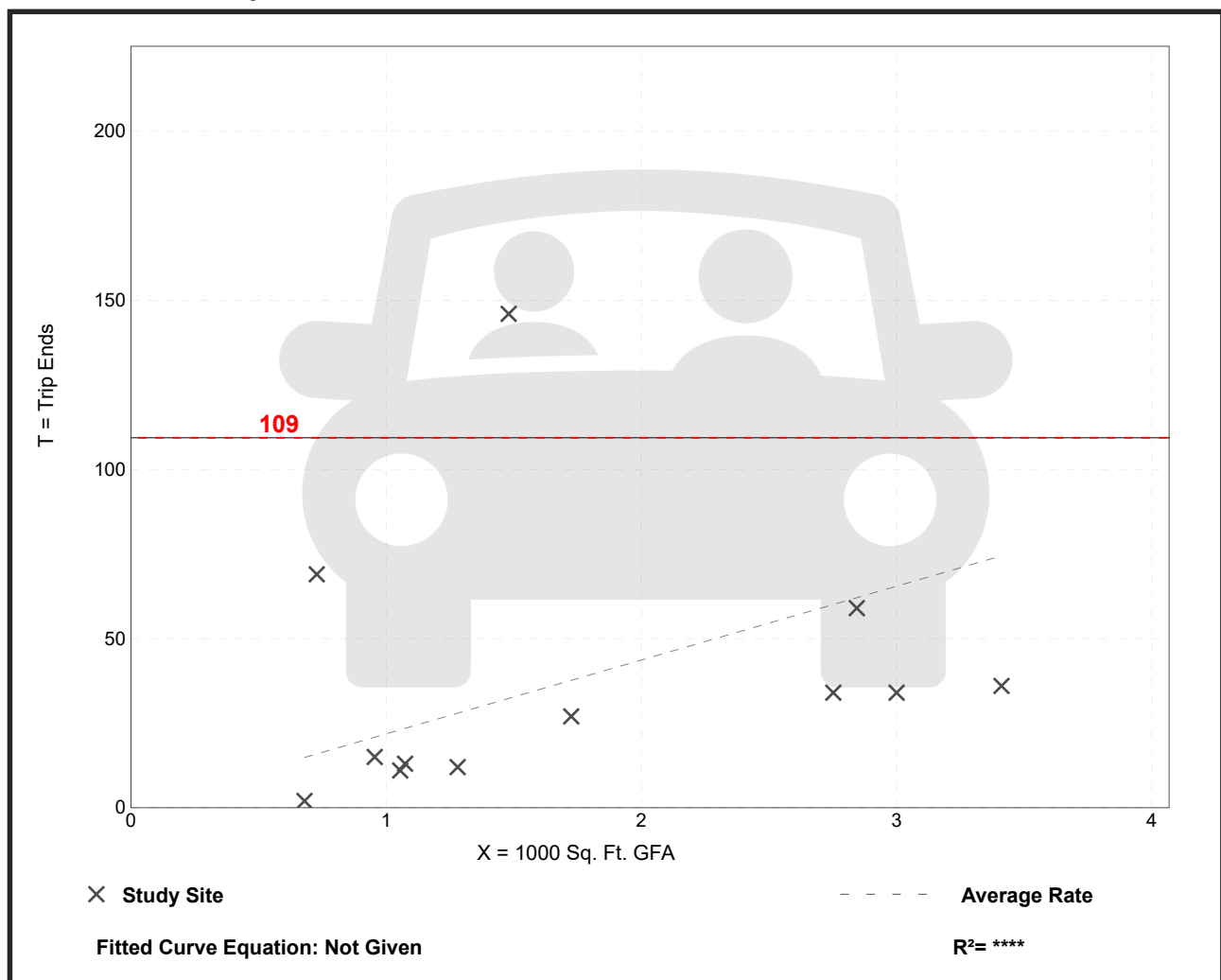
Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
 Peak Hour of Adjacent Street Traffic,
 One Hour Between 4 and 6 p.m.
Setting/Location: General Urban/Suburban
 Number of Studies: 12
 Avg. 1000 Sq. Ft. GFA: 2
 Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
21.83	2.94 - 98.65	27.36

Data Plot and Equation



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Marijuana Dispensary (882)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Saturday, Peak Hour of Generator

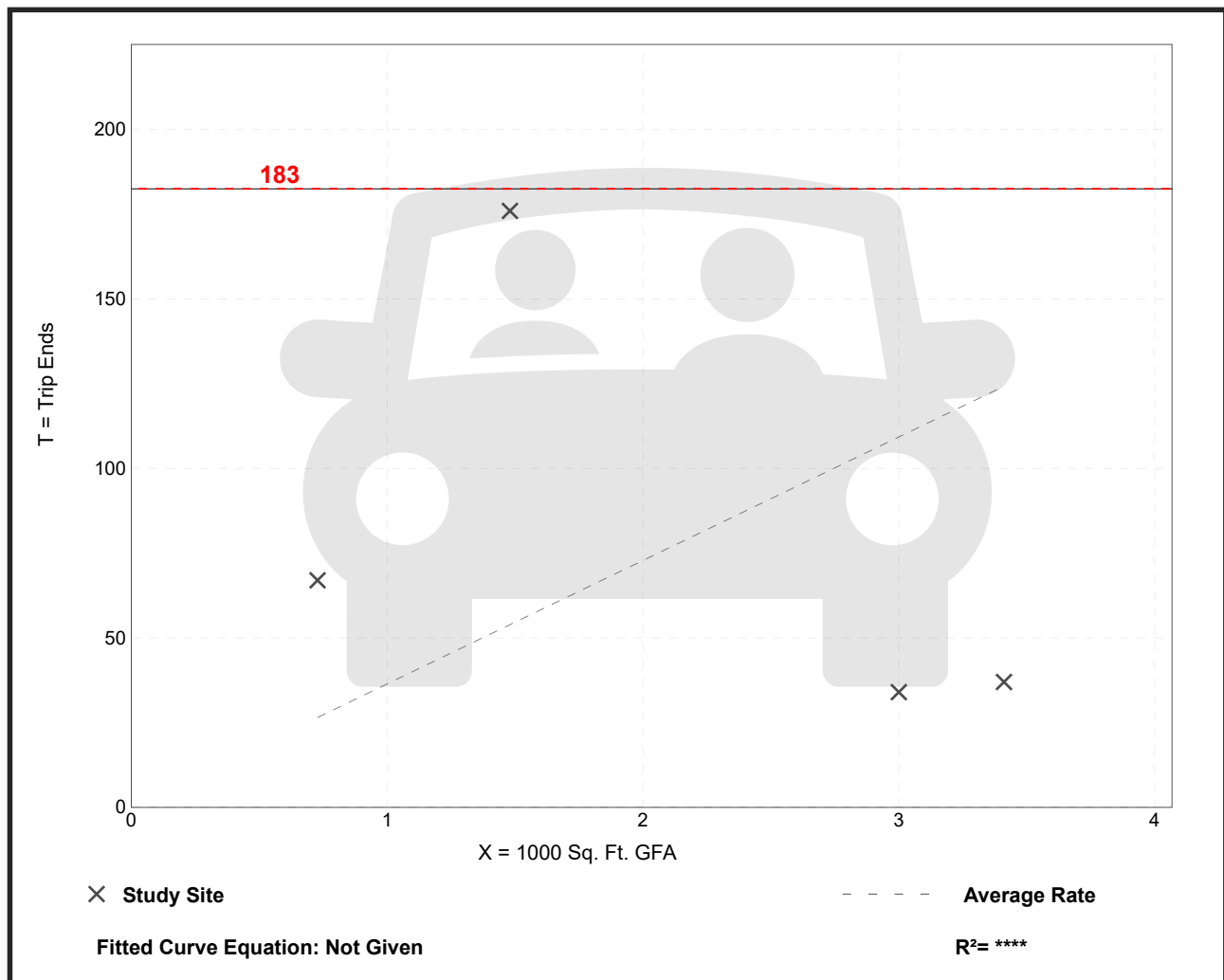
Setting/Location: General Urban/Suburban
Number of Studies: 4
Avg. 1000 Sq. Ft. GFA: 2
Directional Distribution: Not Available

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
36.43	10.85 - 118.92	50.44

Data Plot and Equation

Caution – Small Sample Size



Trip Gen Manual, 10th Edition • Institute of Transportation Engineers

Exhibit E: Opening Day Plan

Sunnyside shares the Town of Rockland's goals of ensuring that all operations at its proposed facility are designed to optimize local safety, minimize impact to the surrounding neighborhood, and allow Sunnyside to operate harmoniously within the larger Rockland community.

I. Plan Goals

1. Ensure the safety of customers, employees, and surrounding abutters.
2. Minimize the impact of traffic flow on adjacent businesses and nearby streets.
3. Facilitate efficient parking lot operations to minimize back up on adjacent streets.
4. Implement efficient appointment systems to reduce initial traffic burdens.
5. Provide information to allow customers to get to/from the facility efficiently and safely.
6. Promote efficient coordination between Sunnyside, the Rockland Police Department, and the Town of Rockland.
7. Establish open lines of communication with abutters and nearby residents and local businesses.

II. Site Plan and Parking

1. Use of Parking Spaces

Sunnyside has access to 22 exclusive spaces on site. Employees will park at an adjacent lot which contains 10 spaces.

2. Suitability of Parking Spaces

As outlined in the enclosed **Traffic Impact Statement**, Sunnyside anticipates that at its peak hour, 92 vehicles will seek to utilize the dispensary parking lot. 23 parking spots are available for use. Sunnyside anticipates that the average customer will be on site for 15 minutes.

Average Transaction Time	Peak Hour Customer Parking Requirements	Hourly Parking Availability (Assuming 15 min visit)
15 minutes (0.25 hr) – 4 turns	92 spaces will be required at Sunnyside's parking lot at its peak hour of operations	23 spaces * 4 turns = 92 spots available for use each hour

3. Parking Lot Management

For at least the first month of operation and as long as deemed necessary by Sunnyside and Town officials, Sunnyside will employ numerous parking lot attendants to allow for the safe and efficient flow of customers in and out of the parking lot. The parking lot attendants will direct customers to available parking spaces to eliminate backups occurring in and out of the

lot and assist in ensuring that customers safely traverse the parking lot when walking in and out of the facility.

III. Interior Facility Capacity and Management

1. Soft Opening Period

Should the Town desire it, Sunnyside will conduct a soft opening for the fledgling weeks of operation by only offering facility access to customers that have made an online reservation via Sunnyside's website. Offering appointment only services will assist in preventing an overflow of customers, mitigating traffic impacts, educating customers about how to safely access the facility, and allowing for efficient operations inside of the retail establishment.

If implemented, Sunnyside will meet with the Town after the first month of operations and determine how long a reservation-only system should be utilized based on demand, traffic, and operations. Should Town officials request that the reservation system be continued, Sunnyside will request monthly follow up meetings.

2. Floor Plan Capacity

Sunnyside's enclosed **Floor Plan** has been designed to accommodate high volume customer counts while protecting consumer privacy, optimizing customer experience, and preserving the flow throughout the retail facility.

Oversight over the number of customers in the facility will be the responsibility of security staff stationed at the entry and exit points of the facility. Staff will utilize a digital tally system for an accurate count of who is in the facility at any given time.

IV. Dissemination of Traffic and Parking Information

Sunnyside will be sure to include clearly marked information about appointment-only periods, traffic, and parking for its Rockland facility on its website and social media channels. Sunnyside will provide information about appointment requirements, traffic, and parking in its responses to inbound media requests should it receive any. A map of traffic flows will be provided. Sunnyside will provide the information to the Town of Rockland and the Police Department to post or share at its discretion.

Prior to opening, Sunnyside will send a mailing to the neighborhoods closest to the establishment to inform them about opening procedures and provide contact information that they may utilize to receive additional information or alert Sunnyside's management team about system inefficiencies.

V. Plan Evaluation

Sunnyside respectfully requests the opportunity to meet with representatives from the Town of Rockland and the Rockland Police Department to discuss traffic and queue management at the following times:

- Prior to opening the facility;
- One week after opening;
- Two weeks after opening or as needed in the month following opening;
- One month after opening;
- Two months following opening;
- Six months following opening; and
- Additionally, at the discretion of Sunnyside, the Town of Rockland, and the Police Department.

VI. Plan Utilization Following Opening Day Period

During any periods of high traffic or higher than expected volume following the opening period, Sunnyside will, independently or at the written request of Town officials or the Police Department, implement measures of the plan to ensure the facility is operating efficiently, safely, and in harmony with the surrounding community.

EXHIBIT F: ODOR CONTROL PLAN: VERSION 1.1
CRESCO HHH, LLC
RETAIL MARIJUANA ESTABLISHMENT

1. Facility Odor Emissions Information

a. Facility Floor Plan

Please see the enclosed floor plan.

b. Specific odor-emitting activities

No odor-emitting activities will occur on-site. All marijuana and marijuana products will arrive pre-packaged from the applicant's cultivation and product manufacturing facility. Marijuana and marijuana products will be packaged in opaque, odor-resistant packaging that will not emit smells. At no time will loose marijuana be present within the facility for any reason.

c. Specific odor-controlled rooms

The highest concentration of marijuana and marijuana products will be in the applicant's secured vault. Although the product packaging has been designed to eliminate odors, the applicant will employ carbon filtration odor scrubbers in this area to ensure that odor does not disperse throughout the facility.

2. Odor Mitigation Practices

a. Engineering Controls

Sunnyside intends to install carbon filtration systems in each room that is designated an odor-control room. Carbon filtration systems utilize pellets of charcoal to trap terpenes as air passes through "carbon scrubbers" installed in the ducting.

As Sunnyside identifies an appropriate vendor to offer industry-specific best control facilities, the applicant proposes to undertake the following initiatives prior to submitting for a building permit:

- 1) Submit information to demonstrate that the engineering control system and all components were reviewed and certified by a Professional Engineer or a Certified Industrial Hygienist as meeting professional expectations of competency and as sufficient to effectively mitigate odors for all odor sources, Submit a process-specific maintenance plan including a description of the maintenance activities that will be performed, the frequency with which such activities will be performed, and the role/title(s) of the personnel responsible for maintenance activities. The activities will serve to maintain the odor mitigation system and optimize performance.
- 2) A timeline for implementation of the odor mitigation system.

b. Administrative Controls

1) Procedural activities

Building design and operations management has been optimized to restrict the flow of odor across the facility. Rooms that are odor- controlled will not have windows or other openings that allow for the release of air. Strict access control procedures including auditory notifications and weight mechanisms will be in place to ensure that doors are not left open unintentionally or propped open for long periods.

2) Staff training materials

As part of the onboarding process, staff members will receive comprehensive training about standard operating procedures throughout the facility, including protocol relative to odor control. In addition to training about procedural activities, employees that work in designated odor-controlled areas will be trained to ensure exhaust and filtration systems are running appropriately.

3) Recordkeeping systems

Sunnyside will maintain comprehensive records, including records of purchases of replacement carbon, performed maintenance tracking, documentation, and notification of malfunctions, scheduled and performed training sessions, and monitoring of administrative and engineering controls.

3. Odor complaint tracking systems

Record of any odor complaints transmitted to the facility by the town, residents, or other parties will be maintained by Sunnyside's staff and addressed immediately. All complaints will be reported to the Town's designated representative, Sunnyside's Chief Executive Officer, and the facility manager. The facility manager will be responsible for coordinating with on-site staff and executive management to remedy the problem and respond in writing.

Exhibit G



John R. Llewellyn
Chief of Police

Rockland Police Department

490 Market Street
Rockland, MA 02370
(781) 871-3890 * (781) 871-3891
Fax (781) 982-8608

Lieutenant Nicholas P. Zeoli



Nicholas P. Zeoli
Lieutenant

August 22, 2020

Rockland Planning Board
Rockland Townhall
242 Union St.
Rockland, MA 02370

RE: Security Plan for Sunnyside Marijuana Dispensary 1015 Hingham Street.

Dear Sir;

I recently had the opportunity to review the site and security plan for the proposed construction of the Sunnyside Marijuana Dispensary. Mr. Abraham Jamal, the Director of Security, spent considerable time answering my questions and explaining all aspects of the security plan to me.

I am writing you in my capacity as Police Lieutenant of the Rockland Police Department and representing the Office of the Chief of Police, that I have reviewed and approve the proposed Security plan for the proposed construction of the Sunnyside Marijuana Dispensary at 1015 Hingham Street Rockland.

Please feel free to contact me with any questions or concerns.

Yours truly,

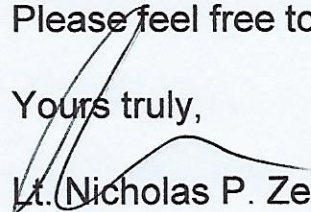

Lt. Nicholas P. Zeoli

Exhibit H

I, Charles Bachtell, Chief Executive Officer of Cresco Labs Inc. hereby certify that the following individuals and entities are the only individuals with direct or indirect control over Cresco HHH, LLC's operations.

Direct or Indirect Owners

Name	Address	Role
Cresco Labs Notes Issuer, LLC	400 W. Erie St, Suite 110 Chicago, IL 60654	100 percent owner of Cresco HHH, LLC
Cresco Labs, LLC	400 W. Erie St, Suite 110 Chicago, IL 60654	100 percent owner and sole manager of Cresco Labs Notes Issuer, LLC
Cresco U.S. Corp.	600 South Second St, Suite 404 Springfield, IL 62704	100 percent owner and sole manager of Cresco Labs, LLC
Cresco Labs Inc.	400 W. Erie St, Suite 110 Chicago, IL 60654	100 percent owner and sole director of Cresco U.S. Corp. And Publicly-traded company

People with Direct or Indirect Control

Name	Role
Charles Bachtell	Board Member, Chief Executive Officer
Tom Manning	Executive Chairman of the Board
Gerry Corcoran	Board Member, Director
Randy Podolsky	Board Member, Director
Michele Roberts	Board Member, Director
Rob Sampson	Board Member, Director
Dominic Sergi	Board Member, Director
Marc Lustig	Board Member, Director
Carol Vallone	Board Member, Director
John Walter	Board Member, Director
John Gorman	Passive investor

Please be advised that Cresco Labs Inc., the ultimate parent company of Cresco HHH, LLC, is a publicly traded company. The ownership of publicly traded companies changes daily and, as such, Cresco HHH, LLC is unable to provide disclosure information for general public shareholders. Furthermore, it is our opinion that a requirement to provide disclosure information for general public shareholders would be unreasonably impracticable, as that term is defined in M.G.L. ch. 94G § 1¹, and therefore prohibited pursuant to M.G.L. ch. 94G § 3.

DocuSigned by:

 8B3C7B065B02433

Charles Bachtell, Chief Executive Officer

09/02/2020

Date

¹M.G.L. ch. 94G, § 1 defines "Unreasonably impracticable" in relevant part as something that "subject[s] licensee[s] to unreasonable risk or require such a high investment of risk, money, time or any other resource or asset that a reasonably prudent businessperson would not operate a marijuana establishment."

Exhibit I



TOWN OF ROCKLAND

Board of Assessors

Town Hall
242 Union Street
Rockland, Massachusetts 02370

July 27, 2020

CERTIFIED ABUTTERS LIST OF MAP 4 – PARCEL 11

1015 HINGHAM ST

BOARD – ZBA

REQUIREMENTS – Abutters, next abutter within 300 ft and directly across a public or private street or way.

CERTIFIED BY:

Christine MacPherson
Christine MacPherson – Senior Administrative Assistant

Parcel ID	Owner	Location	Mailing Street	Mailing City
4-11	JUMBO CAPITAL MGMT LLC	1015 HINGHAM ST	1900 CROWN COLONY DR STE 405	QUINCY, MA 02169
4-6	AMR R E HOLDINGS-ROCKLAND LLC	1022-1030 HINGHAM ST	425 PROVIDENCE HWY	WESTWOOD, MA 02090
4-10	1001 HINGHAM STREET LLC	1001 HINGHAM ST	ATTN RADER PROPERTIES INC 80 WASHINGTON ST J-40	NORWELL, MA 02061
4-14	JUMBO CAPITAL MGMT LLC	1099 HINGHAM ST	1900 CROWN COLONY DR STE 405	QUINCY, MA 02169
9-33	933 HINGHAM ST LLC	933 HINGHAM ST	933 HINGHAM ST	ROCKLAND, MA 02370
9-36	JAMSAN HOTEL MGMT INC	929 HINGHAM ST	83 HARTWELL AVE	LEXINGTON, MA 02421

Planning Boards: Rockland, Abington, Whitman, Norwell, Hanson, Hanover, Hingham & Weymouth:

Rockland Board of Assessors (Notice of decision only)

The above constitutes a complete list of all parties in interest as found in the most recent tax list, pursuant to Chapter 40A, Section 11, of the General Law.

Exhibit J

State Tax Form 290
 Certificate: 5699
 Issuance Date: 08/18/2020

MUNICIPAL LIEN CERTIFICATE
 Town of Rockland, MA
 COMMONWEALTH OF MASSACHUSETTS

Requested by CRESCOLABS
 400 W ERIE ST SUITE 110
 CHICAGO, IL 60654

I certify from available information that all taxes, assessments and charges now payable that constitute liens as of the date of this certificate on the parcel of real estate specified in your application received on 08/18/2020 are listed below.

DESCRIPTION OF PROPERTY

Parcel ID: 04-0011

1015 HINGHAM ST

JUMBO CAPITAL MANAGEMENT LLC
 TR 1099 HINGHAM ST RLTY TRUST
 1900 CROWN COLONY DR SUITE 405
 QUINCY MA 02169

Land area : 0.90 AC
 Land Value : 134,800
 Impr Value : 1,300
 Land Use : 0
 Exemptions : 0
 Taxable Value: 136,100

Deed date: Book/Page:
 Class: 440-440

FISCAL YEAR	2021	2020	2019
DESCRIPTION			
COMMERCIAL REAL ESTATE TAX	\$1,220.82	\$2,381.75	\$2,340.35
COMMUNITY PRESERVATION ACT	\$18.31	\$35.73	\$35.11
TOTAL BILLED:	\$1,239.13	\$2,417.48	\$2,375.46
Charges/Fees	\$0.00	\$0.00	\$20.00
Abatements/Exemptions	\$0.00	\$0.00	\$0.00
Payments/Credits	-\$619.57	-\$2,417.48	-\$2,395.46
Interest to 08/18/2020	\$0.00	\$0.00	\$0.00
TOTAL BALANCE DUE:	\$619.56	\$0.00	\$0.00

NOTE: Actual 2021 taxes not yet issued.

FINAL READINGS/WATER,SEWER AND TRASH LIENS CALL:
 WATER 781-878-0901; SEWER 781-878-1964; TRASH 781-871-1874 EXT 1350
 ACCT#:N/A
 DUE DATE N/A
 WATER: \$N/A
 SEWER: \$N/A
 TRASH: \$N/A
 SEWER BETTERMENT: NO

JUDITH HARTIGAN
 TOWN COLLECTOR

THIS FORM APPROVED BY THE COMMISSIONER OF REVENUE