

SHINGLEMILL APARTMENTS

COMPREHENSIVE PERMIT PLANS

75-79 POND STREET

ROCKLAND, MASSACHUSETTS 02370



MASSGIS 2008 AERIAL PHOTO
SCALE: 1" = 500'



SCALE: 1" = 200'

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SITE INFORMATION:
ZONING DISTRICT: H-1 INDUSTRIAL PARK-HOTEL
TOTAL GROSS AREA: 29.71 Ac.
TOTAL BUILDING AREA: 1.28 Ac.
TOTAL PAVEMENT & PARKING AREA: 2.20 Ac.
TOTAL WETLAND OPEN SPACE: 16.46 Ac.

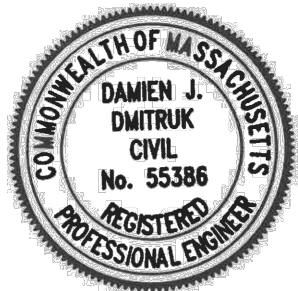
PREPARED FOR:
SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

PREPARED ON:
FEBRUARY 14, 2022
REVISED SEPTEMBER 23, 2022



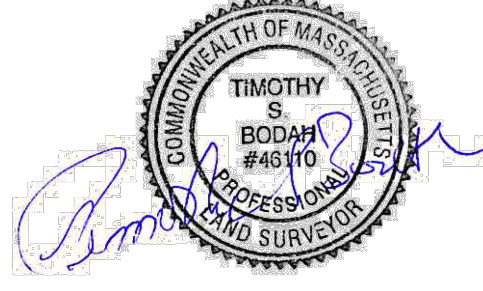
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE: 508.697.3191, FAX: 508.697.5996
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ENGINEER:
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BRIDGEWATER, MA 02324
Damien J. Dmitruk
MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER #55386



9/23/2022
DATE:

SURVEYOR:
TIMOTHY S. BODAH, P.L.S.
CONECO ENGINEERS & SCIENTISTS, INC.
BRIDGEWATER, MA 02324
Timothy S. Bodah
MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR #46110



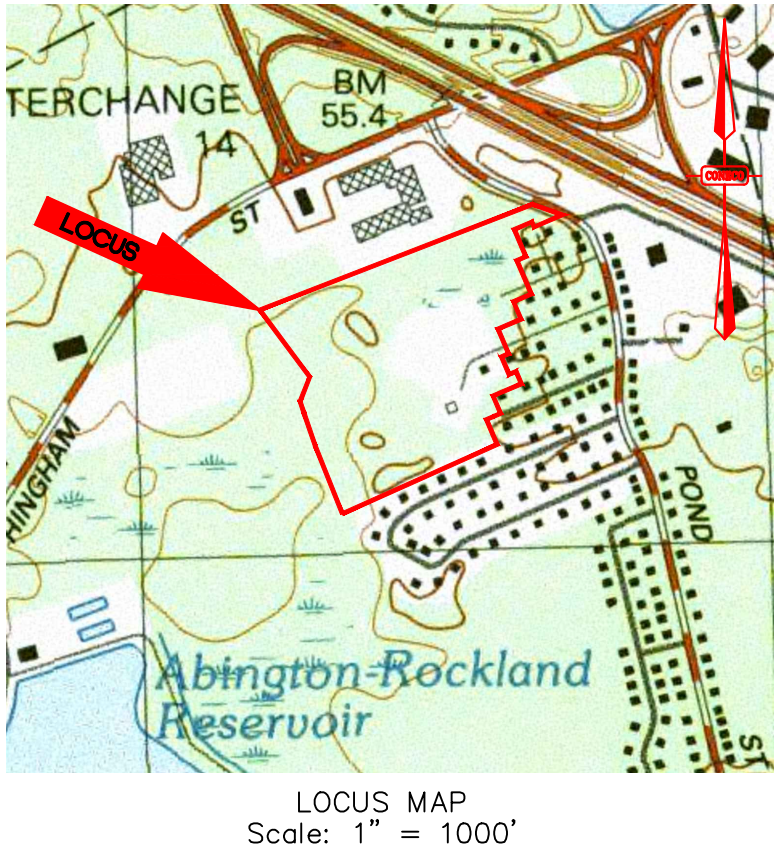
9/23/2022
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SHINGLEMILL APARTMENTS			
75-79 POND STREET, ROCKLAND, MASSACHUSETTS 02370			
R E V I S I O N S			
NO.	DATE	DESCRIPTION	DR/CK
1	9/23/22	GRADING & DRAINAGE REDESIGN	DJD/MSD

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		PROPERTY LINE ABUTTER
		EASEMENT LINE
		FLOOD ZONE
		EDGE OF BORDERING VEGETATED WETLAND
		25' BVW BUFFER
		50' BVW BUFFER
		100' BVW BUFFER
		EDGE OF VERNAL POOL
		100' VERNAL POOL BUFFER
		PUBLIC SURFACE WATER SUPPLY – ZONE A
		PUBLIC SURFACE WATER SUPPLY – ZONE A CENTERLINE
		MAJOR GROUND CONTOUR
		MINOR GROUND CONTOUR
		EDGE OF PAVEMENT
		VERTICAL CURB
		CAPE COD BERM
		BUILDING
		TREE LINE
		ROCK WALL
		LIMIT OF WORK/EROSION CONTROL LINE
		DRAINAGE LINE
		GUARD RAIL
		POST AND RAIL FENCE
		CHAIN LINK FENCE
		GAS LINE
		WATER LINE
		SEWER LINE
		OVERHEAD WIRE
		TELEPHONE
		ELECTRIC/TELEPHONE/COMMUNICATIONS
		SEWER MANHOLE
		DRAIN/WEIR/WQU MANHOLE
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		TEST PIT
		UTILITY POLE
		GUY WIRE
		LIGHT POLE
		CONCRETE BOUND W/ DRILL HOLE OR LEAD PIN
		IRON PIN
		DRILL HOLE
		BANK/WETLAND FLAG
		WATER VALVE
		GAS VALVE
		HYDRANT
		MONITORING WELL
		PARKING SPACE COUNT
		SEWER CLEAN OUT
		FLARED END SECTION
		SIGN

ABBREVIATIONS	
ABBREV.	DESCRIPTION
BB	BITUMINOUS BERM
BC	BOTTOM OF CURB
BIT.	BITUMINOUS
BLDG	BUILDING
BM	BENCH MARK
BOS	BOTTOM OF SLOPE
BVW	BORDERING VEGETATED WETLAND
CB	CATCH BASIN
CBDH	CONCRETE BOUND DRILL HOLE
CBLP	CONCRETE BOUND LEAD PIN
CCB	CAPE COD BERM
CF	CUBIC FEET
CFS	CUBIC FEET PER SECOND
CLF	CHAIN LINK FENCE
CO	CLEAN OUT
CONC.	CONCRETE
CPD	CONCRETE PAD
CY	CUBIC YARD
DCB	DOUBLE CATCH BASIN
DEM	DEMOLISH
DH	DRILL HOLE
DIA.	DIAMETER
DIM.	DIMENSION
DMH	DRAIN MANHOLE
ELEV.	ELEVATION
ELEC.	ELECTRIC
EM	ELECTRIC METER
EOP	EDGE OF PAVEMENT
EOW	EDGE OF WETLANDS
EXIST, EX.	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FT	FOOT OR FEET
GC	GRANITE CURB
GG	GAS GATE
GV	GATE VALVE
GW	GROUND WATER
HGW	HIGH GROUNDWATER
HOR	HORIZONTAL
HW	HEADWALL
HYD	HYDRANT
IN	INCHES
INV., I	INVERT
IP	IRON PIPE
L	LENGTH
LP	LIGHT POLE
LS	LANDSCAPING
MAT	MATERIAL
MAX	MAXIMUM
MB	MAIL BOX
MH	MANHOLE
MHW	MEAN HIGH WATER
MIN	MINIMUM
MW	MONITORING WELL
NAVD	NORTH AMERICAN VERTICAL DATUM
NO	NUMBER
NTS	NOT TO SCALE
N/F	NOW OR FORMERLY
OHW	OVERHEAD WIRE
PKG	PARKING
PL	PROPERTY LINE
PROP., P	PROPOSED
PT	POINT OR POINT OF TANGENT
PVC	POLYVINYL CHLORIDE PIPE
R	RIM
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
S	SLOPE
STC	STORMCEPTOR MANHOLE
	(WATER QUALITY UNIT)
SEC.	SECTION
SF	SQUARE FEET
SMH	SEWER MANHOLE
SP	STANDPIPE
SPEC.	SPECIFICATION
SW	SIDEWALK
TC	TOP OF CURB
TEK., T	TELEPHONE
TMH	TELEPHONE MANHOLE
TOB	TOP OF BANK
TOF	TOP OF FOUNDATION
TOS	TOP OF SLOPE
TP	TEST PIT
TYP.	TYPICAL
UP	UTILITY POLE
VERT	VERTICAL
WG/V	WATER GATE/VALVE
WM	WATER METER
WMH	WEIR MANHOLE
WQU	WQU

NOTES	
GENERAL:	
1. THE CONTRACTOR SHALL NOTIFY "DIGSAFE" (1-888-DIGSAFE) AT LEAST 72 HOURS (3 BUSINESS DAYS) BEFORE EXCAVATING.	
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	
3. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS.	
4. SITE SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.	
5. ALL PROPOSED ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL CONFORM TO THE FEDERAL AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN, MASSACHUSETTS 521 CMR ARCHITECTURAL ACCESS BOARD, AND MASSDOT STANDARDS.	
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	
7. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	
8. A CONSTRUCTION GENERAL PERMIT STORMWATER POLLUTIONS PREVENTION PLAN SHALL BE SUBMITTED BY THE OWNER OR CONTRACTOR PRIOR TO THE START OF SITE CONSTRUCTION ACTIVITIES. THE PLAN SHALL INCLUDE MEASURES AND REQUIREMENTS FOR STABILIZATION OF EXPOSED SOILS, STOCKPILES, AND ALL OTHER EROSION AND SPILL PREVENTION MEASURES.	
9. SITE CLEARING SHALL BE LIMITED TO THE EROSION CONTROL LINE AND/OR THE LIMIT OF GRADING IN AREAS WHERE EROSION CONTROL LINE IS NOT REQUIRED. CARE SHOULD BE TAKEN TO PROTECT EXISTING TREES OUTSIDE OF THIS LINE, THEREBY MAINTAINING A NATURAL BUFFER TO THE GREATEST EXTENT POSSIBLE.	
10. DEGRADED AND DAMAGED EROSION CONTROLS TO BE REPLACED BY THE CONTRACTOR UNTIL FINAL SOIL STABILIZATION METHODS HAVE BEEN ESTABLISHED.	
11. BUILDING HEIGHTS SHALL CONFORM THE LATEST ARCHITECTURAL DESIGN PLANS.	
12. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.	
13. CONCRETE BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.	
14. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAIL CONTIGUOUS TO THE BUILDING, INCLUDING BUILDING ENTRANCES, RAMPS, STAIRWAYS, UTILITY PENETRATIONS, ETC.	
15. THE BOUNDARY OF PUBLIC SURFACE WATER SUPPLY ZONE A SHOWN ON THE PLANS WAS IMPORTED FROM THE "BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS), COMMONWEALTH OF MASSACHUSETTS, EXECUTIVE OFFICE OF TECHNOLOGY AND SECURITY SERVICES: SURFACE WATER SUPPLY PROTECTION AREAS (ZONE A, B, C) – APRIL 2017" AND MODIFIED PER COORDINATION WITH MASSDEP.	
EXISTING CONDITIONS INFORMATION:	
1. THE PROPERTY IS REFERENCED BY THE TOWN OF ROCKLAND ASSESSOR'S ID 9-13 & 10-68.	
2. OWNER OF RECORD: SHINGLEMILL, LLC 4 FIRST STREET, BRIDGEWATER, MA BOOK 52044, PAGE 229 (MAP 10, LOT 68) BOOK 51016, PAGE 303 (MAP 9, LOT 13)	
3. ELEVATIONS REFER TO NAVD 88.	
4. WETLANDS DELINEATED BY WETLANDS STRATEGIES, INC. MAY & SEPTEMBER 2018 AND FIELD LOCATED BY ATLANTIC DESIGN ENGINEERS, INC.	
5. TOPOGRAPHIC INFORMATION IS A RESULT OF A COMBINATION OF LIDAR TERRAIN AND ELEVATION DATA FROM MASSGIS, AND AN ON THE GROUND TOPOGRAPHIC SURVEY PERFORMED BY CONECO ENGINEERS & SCIENTISTS.	
6. LOCUS PROPERTY IS IN ZONE X AND ZONE A, AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 25023C0092K DATED JULY 6, 2021. THE FLOOD PLAIN LINES SHOWN ON THESE PLANS WERE DIGITIZED FROM THE FIRM PANEL.	
7. UNDERGROUND UTILITY LOCATION AS SHOWN HEREON ARE TAKEN FROM AVAILABLE RECORD AND FIELD INFORMATION AND ARE APPROXIMATE ONLY. BEFORE PLANNING ANY CONSTRUCTION, DIGSAFE AND THE VARIOUS UTILITY COMPANY ENGINEERING DEPARTMENTS SHOULD BE CONSULTED.	
8. TREE SYMBOLS ARE FOR GRAPHIC PURPOSES ONLY AND DO NOT REPRESENT ACTUAL CANOPY LINES.	
LANDSCAPING:	
1. ALL AREAS CLEARED AND/OR DISTURBED SHALL BE BROUGHT TO WITHIN 4 INCHES OF FINAL GRADE AND FINISHED WITH 4 INCHES OF LOAM AND SEED EXCEPT WHERE OTHER FINISHES ARE PROPOSED (REFER TO PLANS).	
2. CONTRACTOR IS RESPONSIBLE FOR REPLACING (IN KIND) ALL DEAD OR DYING PLANT MATERIAL FOR A PERIOD OF 2 YEARS AFTER INITIAL PLANTING.	
UTILITIES:	
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.	
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT. FAILURE TO PROVIDE OR PERFORM THE ABOVE PRIOR TO PERFORMING ANY WORK SHALL NOT BE GROUNDS FOR EXTRA PAYMENTS TO THE CONTRACTOR.	
3. SET CATCH BASIN RIMS, AND INVERTS OF DRAINS AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND DRAINAGE PLAN.	
4. RIM ELEVATIONS FOR DRAIN MANHOLES AND OTHER SUCH ITEMS ARE APPROXIMATE AND SHALL BE ADJUSTED AS FOLLOWS: - IN PAVEMENTS, CONCRETE SURFACES, AND ALL SURFACE TYPES ALONG ACCESSIBLE ROUTES, SET FLUSH WITH FINISH GRADES. - IN LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS, SET 1 INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.	
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	
6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITY COMPANY.	
7. ALL UTILITY PIPE SIZE AND MATERIALS SHALL BE INSTALLED AS INDICATED ON THE PLANS. CONTRACTOR TO COORDINATE AND CONFIRM WITH THE PERVEYOUR, TOWN, ENGINEER, AND ARCHITECT, PRIOR TO THE PURCHASE AND INSTALLATION OF ALL UTILITYS.	



09/23/2022

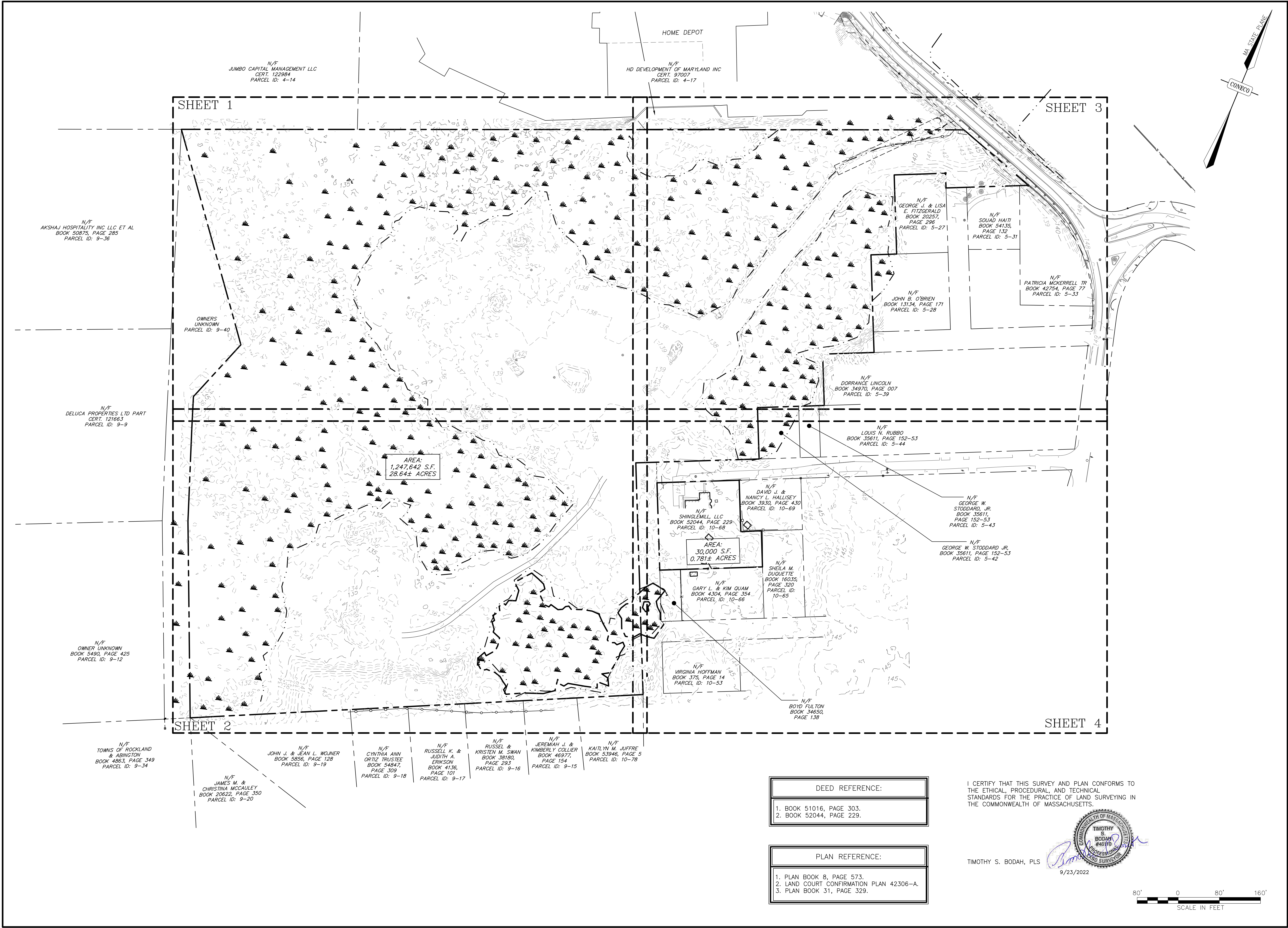
REVISIONS	DR/CK	DESCRIPTION	DATE	NO.		
	D/JD/MSD	GRADING & DRAINAGE REDESIGN				
SHINGLEMILL, LLC 4 FIRST STREET BRIDGEWATER, MASSACHUSETTS 02324		NOTES & LEGEND				
SHINGLEMILL APARTMENTS 76-79 POND STREET ROCKLAND, MASSACHUSETTS 02370		COMPREHENSIVE PERMIT PLANS				

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 FAX 508-697-5996
800-548-3305
WWW.CONECO.COM

DATE 02/14/2022	
DESIGNED: MVK	CHECKED: DJD
DRAFTED: MVK	IN CHARGE: DJD
SCALE: AS SHOWN	
PROJECT NO.	3395.1
SHEET NO.	2 OF 28

SITE DEVELOPMENT TABLES	
TOTAL SITE AREA: 1,277,642 S.F. (29.3± ACRES)	

ZONING TABLE		
ZONE: H1 – INDUSTRIAL PARK–HOTEL		
USES: RESIDENTIAL APARTMENTS		
	REQUIRED	PROVIDED**
LOTS		
MIN. AREA	N/A	29.3 ACRES.
MIN. FRONTAGE	N/A	165 FT
BUILDINGS		
MAX. BUILDING LOT COVERAGE	50%	4.4%
MIN. FRONT YARD	50 FT	710 FT
MIN. SIDE YARD	30 FT*	155 FT
MIN. REAR YARD	30 FT*	277 FT
MAX. BUILDING STORIES	3 STORIES	5 STORIES
MAX. BUILDING HEIGHT	36 FT	69 FT
*50 FEET IF THE ABUTTING LAND IS WITHIN ANY RESIDENTIAL DISTRICT		
**SITE IS BEING SUBMITTED AS A CHAPTER 40B COMPREHENSIVE PERMIT		



REVISIONS	
NO.	DATE
1	9/23/2022

DR/CK	DESCRIPTION
DJD/MSD	GRADING & DRAINAGE REDESIGN

PROJECT: SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

PREPARED FOR: SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

DATE: 02/14/2022
DESIGNED: MWK
DRAFTED: MWK
SCALE: 1" = 80'
PROJECT NO. 3395.1
SHEET NO. 3 OF 28

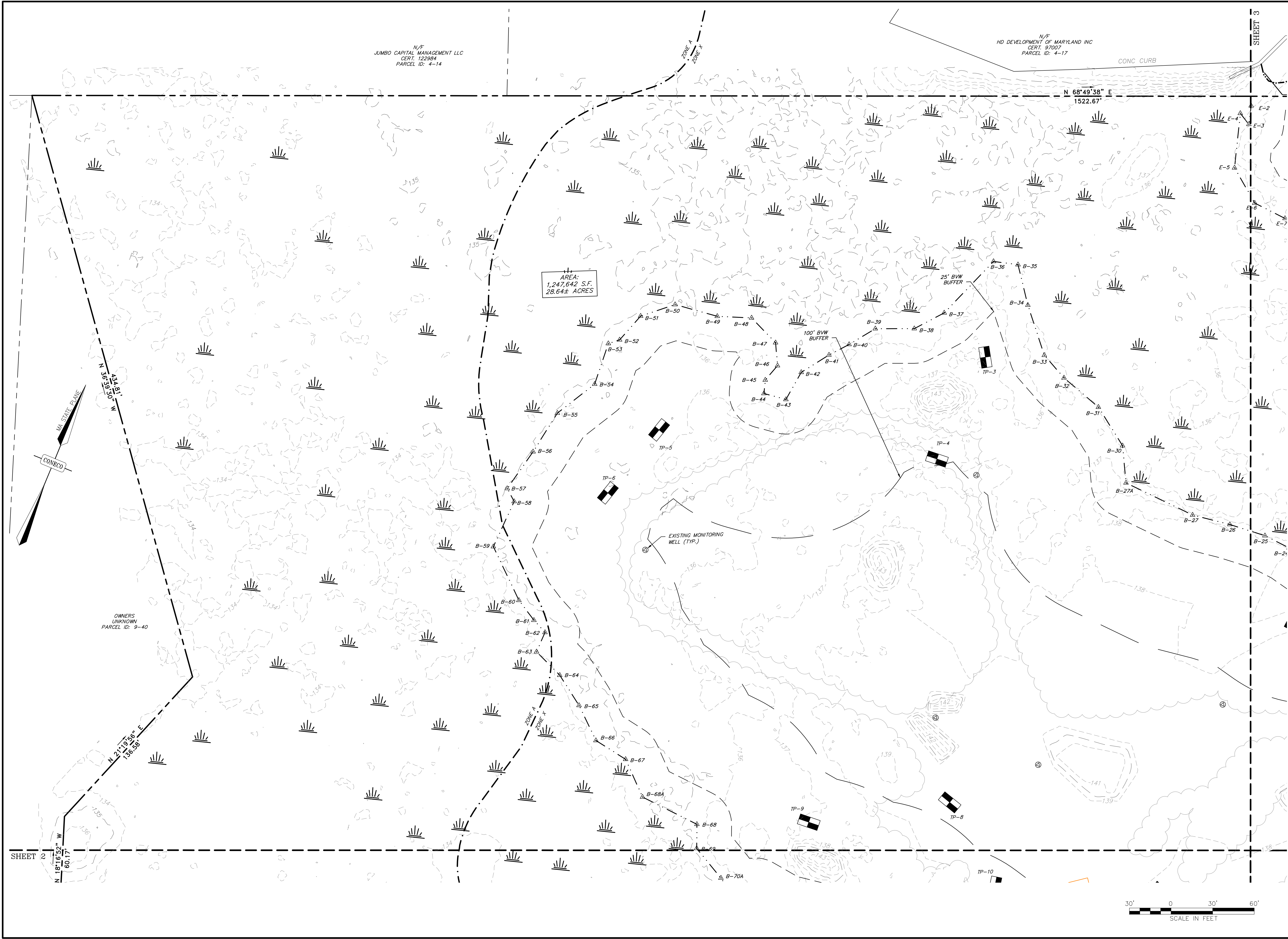
COMPREHENSIVE PERMIT PLANS
EXISTING CONDITIONS KEY PLAN

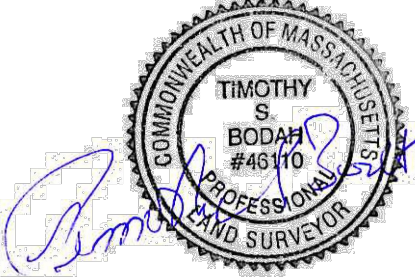
CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-897-3191 OR 800-548-3355 FAX 508-697-5996
WEBSITE: www.coneco.com

TIMOTHY S. BODAH, PLS
9/23/2022

I CERTIFY THAT THIS SURVEY AND PLAN CONFORMS TO THE ETHICAL, PROCEDURAL, AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

MASSACHUSETTS
TIMOTHY S. BODAH
#45910
PROFESSIONAL LAND SURVEYOR





9/23/2022

NO.	DATE	DESCRIPTION	DR/CK	D/D/MSD
1	9/23/2022	GRADING & DRAINAGE REDESIGN		

PREPARED FOR:

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4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

PROJECT:

SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

PLAN SET:

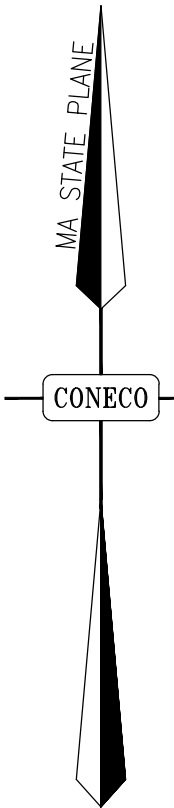
COMPREHENSIVE PERMIT PLANS



4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
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DATE	02/14/2022
DESIGNED: MWK	CHECKED: TSB
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	1" = 30'
PROJECT NO.	3395.1
SHEET NO.	4

OF 28



09/23/2022

REVISIONS	
NO.	DATE
1	9/23/2022

DR/CK

D/D/MSD

DESCRIPTION

GRADING & DRAINAGE REDESIGN

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SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

PROJECT:

SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

PLAN SET:

COMPREHENSIVE PERMIT PLANS

DRIVING:

SITE DESIGN KEY PLAN

Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-1355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE

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DRAFTED: MWK

IN CHARGE: DJD

SCALE:

1" = 80'

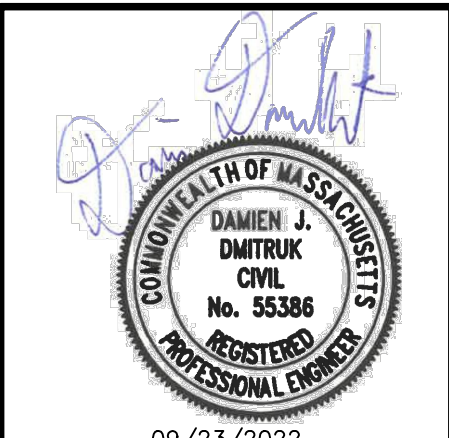
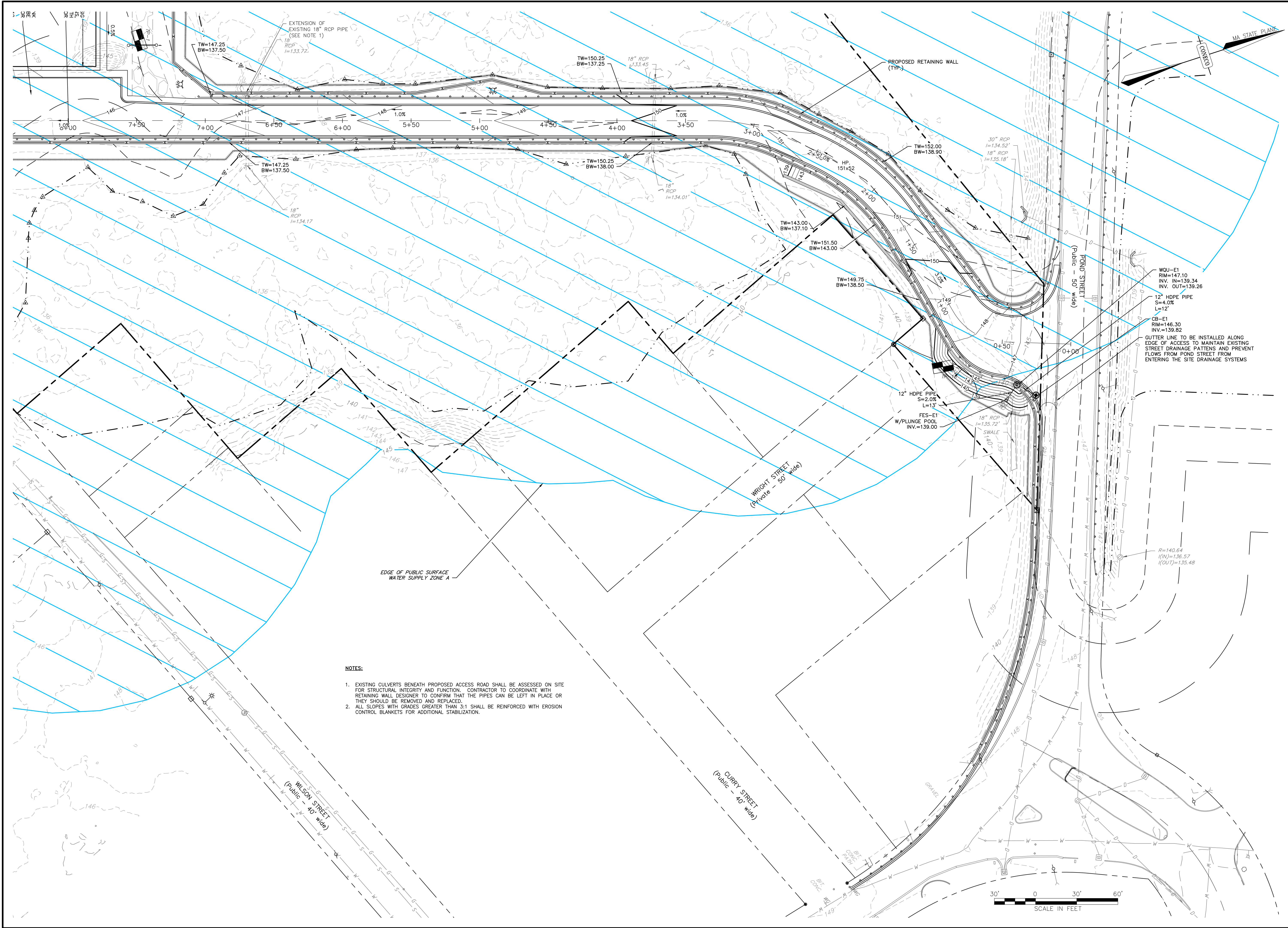
PROJECT NO.

3395.1

SHEET NO.

8

OF 28



REVISIONS		DR/CK	DESCRIPTION
1	9/23/2022	DJD/MSD	GRADING & DRAINAGE REDESIGN

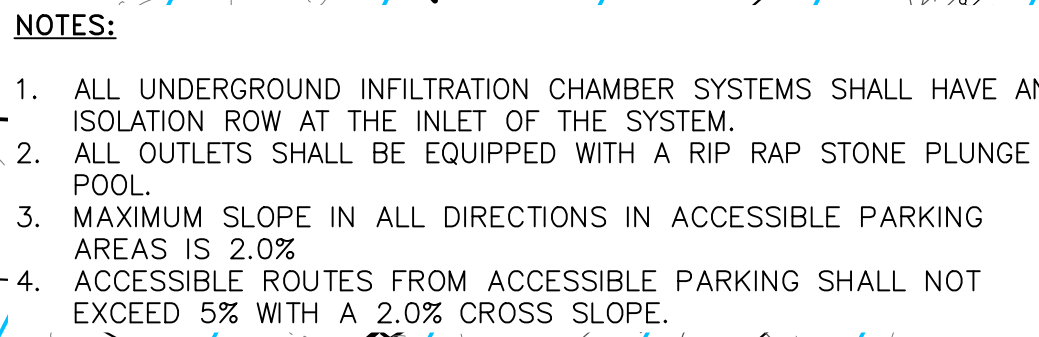
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PREPARED FOR: SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

PROJECT:	SHINGLEMILL APARTMENTS 75-79 POND STREET ROCKLAND, MASSACHUSETTS 02370
PLAN SET:	COMPREHENSIVE PERMIT PLANS

CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
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SHEET NO.	13 OF 28

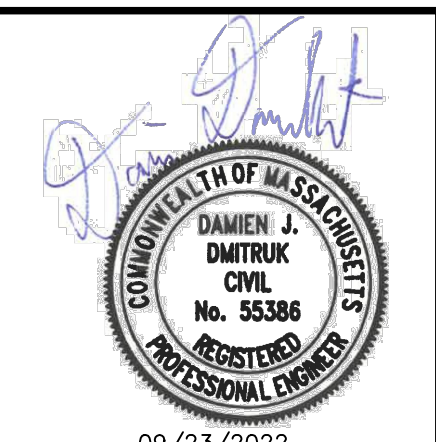


To Infiltration Chamber System A									
Upstream Structure	Rim	Pipe	Pipe Size	Pipe Material	Start Invert	End Invert	Pipe Length	Slope	Downstream Structure
Roof		P-A1	12 in.	HDPE	143.56	139.14	442 ft	1.0%	DMH-A1
DCB-A1	145.15	P-A2	12 in.	HDPE	141.45	141.00	91 ft	0.5%	WQU-A1
CB-A2	145.50	P-A3	12 in.	HDPE	141.76	141.00	76 ft	1.0%	WQU-A1
WQU-A1	145.10	P-A4	12 in.	HDPE	140.91	140.501	10 ft	4.0%	DMH-A1
DMH-A1	145.03	P-A5	18 in.	HDPE	139.10	139.00	5 ft	2.0%	ICS-A
DCB-A3	144.60	P-A6	12 in.	HDPE	140.00	139.60	10 ft	4.0%	WQU-A2
WQU-A2	144.67	P-A7	12 in.	HDPE	139.52	139.00	13 ft	4.0%	ICS-A
ICS-A		P-A8	18 in.	HDPE	139.50	139.40	5 ft	2.0%	WMH-A
WMH-A	145.07	P-A9	18 in.	HDPE	136.24	135.70	27 ft	2.0%	HW-1

To Infiltration Chamber System B									
Upstream Structure	Rim	Pipe	Pipe Size	Pipe Material	Start Invert	End Invert	Pipe Length	Slope	Downstream Structure
CB-B1	144.60	P-B1	12 in.	HDPE	139.93	139.70	23 ft	1.0%	DMH-B1
CB-B2	144.60	P-B2	12 in.	HDPE	139.93	139.70	23 ft	1.0%	DMH-B1
DMH-B1	144.97	P-B3	12 in.	HDPE	139.66	138.92	74 ft	1.0%	WQU-B1
WQU-B1	144.62	P-B4	12 in.	HDPE	138.84	138.00	21 ft	4.0%	ICS-B
CB-B3	143.15	P-B5	12 in.	HDPE	138.94	138.77	17 ft	1.0%	WQU-B2
CB-B4	142.92	P-B6	12 in.	HDPE	138.99	138.77	22 ft	1.0%	WQU-B2
WQU-B2	143.44	P-B7	12 in.	HDPE	138.69	138.00	69 ft	1.0%	ICS-B
ICS-B		P-B8	18 in.	HDPE	138.00	138.05	5 ft	-1.0%	WMH-B
WMH-B	144.12	P-B9	18 in.	HDPE	138.14	136.90	62 ft	2.0%	HW-B

To Infiltration Chamber System C									
Upstream Structure	Rim	Pipe	Pipe Size	Pipe Material	Start Invert	End Invert	Pipe Length	Slope	Downstream Structure
Roof		P-C1	12 in.	HDPE	140.45	139.57	88 ft	1.0%	DMH-C1
CB-C1	144.51	P-C2	12 in.	HDPE	139.89	139.57	32 ft	1.0%	DMH-C1
DCB-C2	144.32	P-C3	12 in.	HDPE	139.70	139.57	26 ft	0.5%	DMH-C1
DCB-C3	144.00	P-C4	12 in.	HDPE	139.95	139.57	75 ft	0.5%	DMH-C1
DMH-C1	144.63	P-C5	18 in.	HDPE	139.53	139.50	3 ft	1.0%	ICS-C
DCB-4	143.97	P-C6	12 in.	HDPE	140.06	139.59	47 ft	1.0%	DMH-C2
DCB-5	144.34	P-C7	12 in.	HDPE	139.97	139.59	38 ft	1.0%	DMH-C2
DMH-C2	144.96	P-C8	18 in.	HDPE	139.55	139.50	5 ft	1.0%	ICS-C
Roof		P-C9	12 in.	HDPE	143.17	141.90	127 ft	1.0%	DMH-C4
DMH-C4	145.51	P-C10	12 in.	HDPE	139.90	139.58	32 ft	1.0%	DMH-C3
DCB-C6	145.25	P-C11	12 in.	HDPE	142.04	141.79	25 ft	1.0%	DMH-C3
DCB-C7	144.91	P-C12	12 in.	HDPE	140.58	140.29	29 ft	1.0%	DMH-C3
DMH-C3	145.33	P-C13	18 in.	HDPE	139.54	139.50	4 ft	1.0%	ICS-C
ICS-C		P-C14	24 in.	HDPE	139.50	139.45	298 ft	0.0%	WHH-C
WHH-C	146.00	P-C15	24 in.	HDPE	138.51	135.65	143 ft	2.0%	HW-C

INFILTRATION TRENCH SUMMARY TABLE									
SYSTEM	TOTAL STORAGE VOLUME (C.F.)	APPROXIMATE FINISHED GRADE	TRENCH INFORMATION				CHAMBER INFORMATION		
			TOP ELEVATION	BOTTOM ELEVATION	MINIMUM LENGTH	MINIMUM WIDTH	TOP ELEVATION	BOTTOM ELEVATION	NUMBER OF UNITS
ICS-A(330XLHD)	4,208	144.75 - 145.50	142.04	138.50	52'-6"	35'-4"	141.54	139.00	49(7x7)
ICS-B (330XLHD)	1,789	144.00 - 144.50	141.50	137.50	38'-6"	20'-10"	140.54	138.00	20(4x5)
ICS-C (330XLHD)	7,563	144.50 - 145.25	142.54	139.00	73'-6"	45'-0"	142.04	139.50	90(9x10)



09/23/2022

REVISIONS				
NO.	DATE	DESCRIPTION	DR/CK	
1	9/23/2022	GRADING & DRAINAGE REDESIGN	DJD/MSD	

SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

PROJECT: SHINGLEMILL APARTMENTS
75-79 POND STREET
ROCKLAND, MASSACHUSETTS 02370

PLAN SET: COMPREHENSIVE PERMIT PLANS



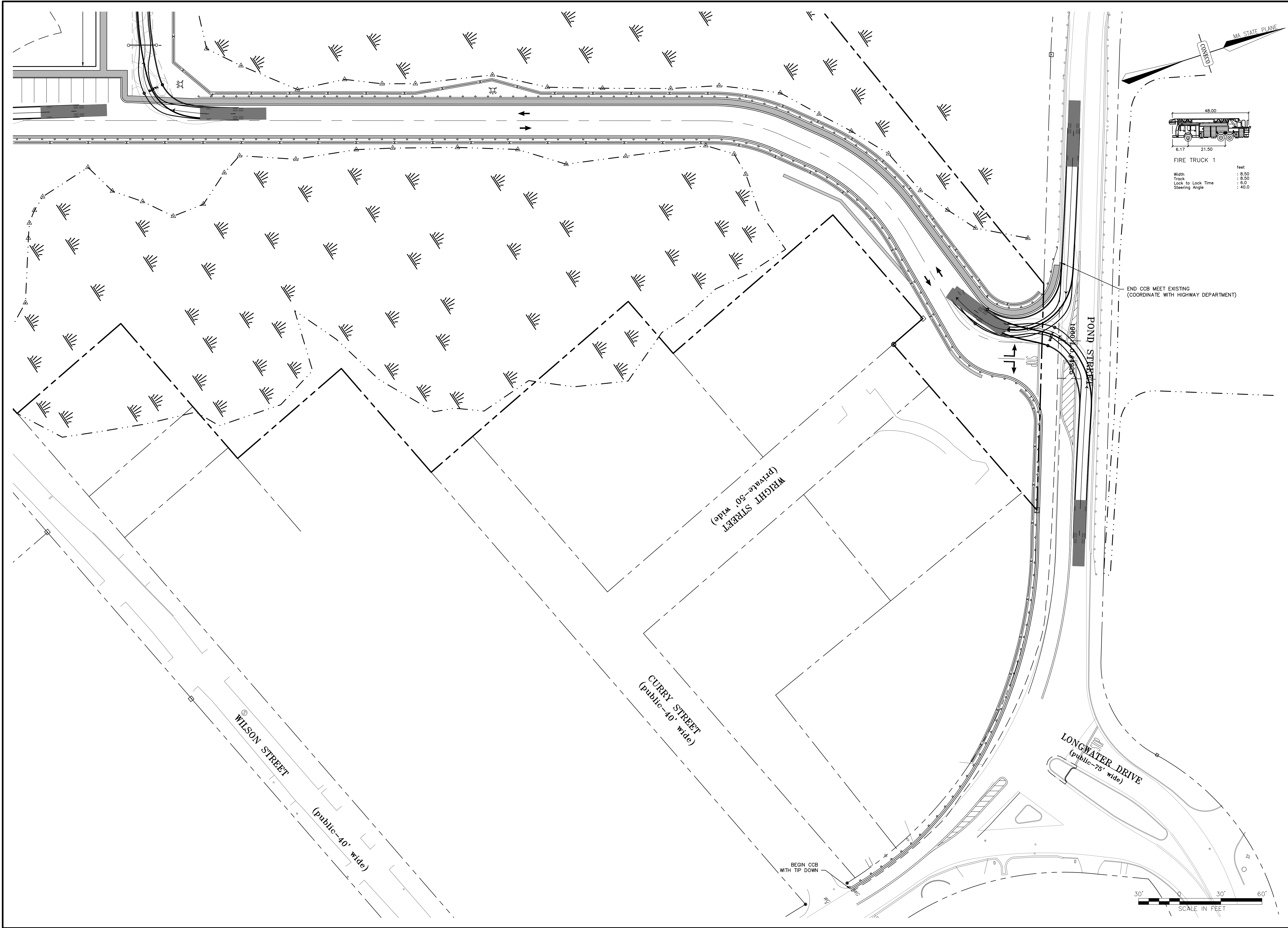
CONECO
Engineers & Scientists

1 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-497-3191, OR 800-549-3355, FAX 508-687-5941
WEBSITE: www.coneco.com

DATE		02/14/2022	
DESIGNED: MVK	CHECKED: DJD		
DRAFTED: MVK	IN CHARGE: DJD		
SCALE:		1" = 30'	
PROJECT NO.		3395.1	
SHEET NO.		14	

14
OF 28

OF 28



09/23/2022

REVISIONS		DR/CK	DESCRIPTION	DATE	NO.
		D/D/MSD	GRADING & DRAINAGE REDESIGN	9/23/2022	1

PREPARED FOR:

SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

DRAWING:

FIRE APPARATUS TURNING ANALYSIS
SHEET 1 OF 2

PROJECT:

SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

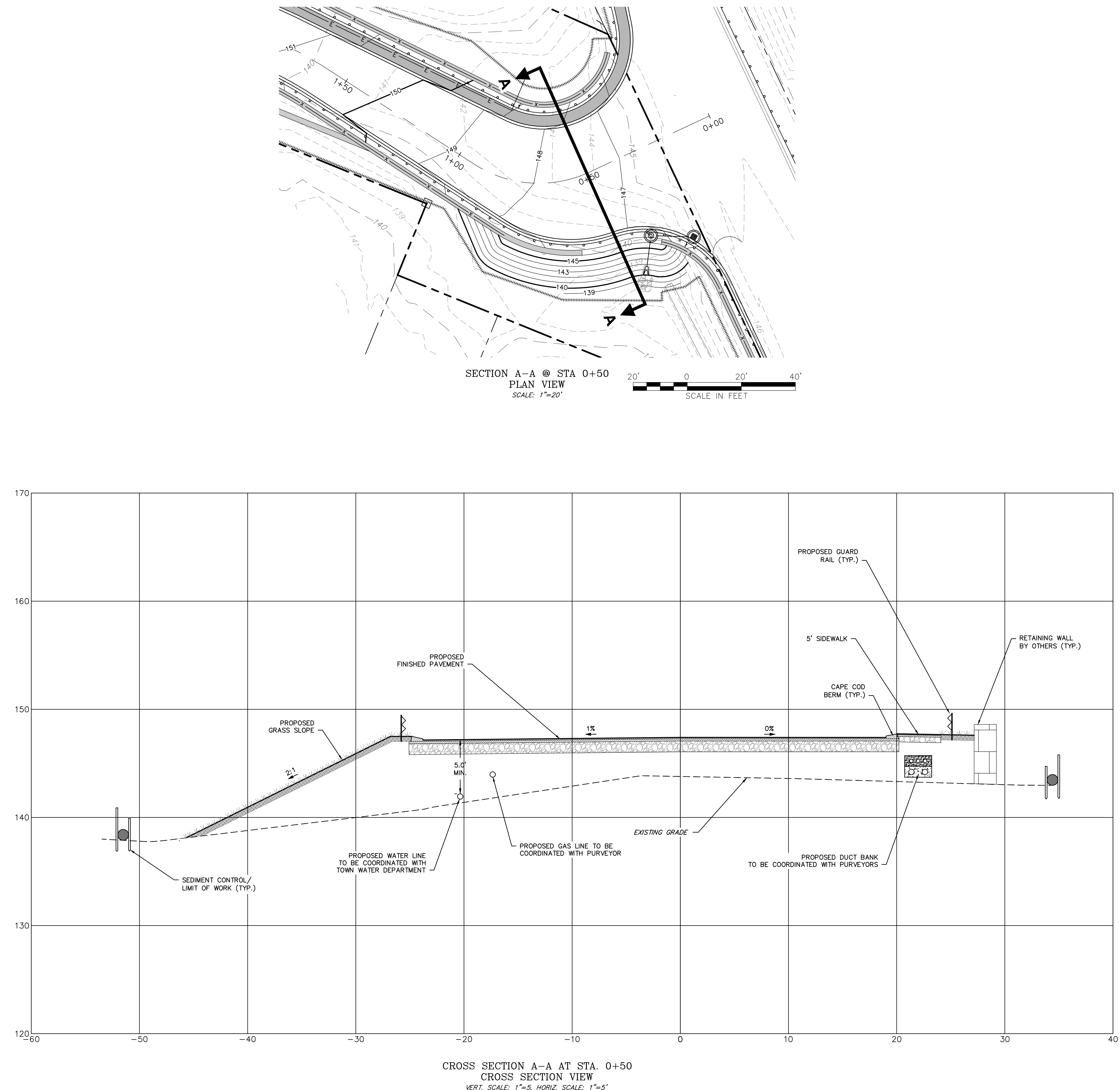
PLAN SET:

COMPREHENSIVE PERMIT PLANS

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-897-3191 OR 800-548-5355; FAX 508-697-5996
WEBSITE: www.conco.com

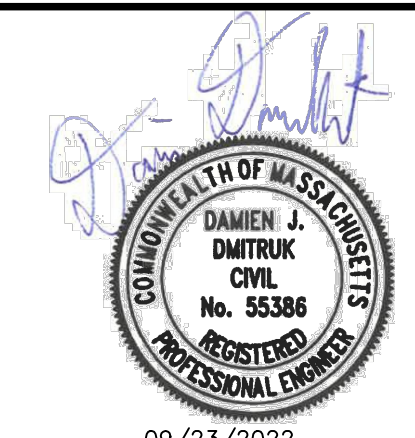
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DRAFTED: MWK	IN CHARGE: DJD		
SCALE:	1" = 30'		
PROJECT NO.	3395.1		
SHEET NO.	17		

OF 28



SECTION A-A @ STA 0+50
PLAN VIEW
SCALE: 1"=20'

CROSS SECTION A-A AT STA. 0+50
CROSS SECTION VIEW
VERT. SCALE: 1"=5', HORIZ. SCALE: 1"=5'



REVISIONS		
NO.	DATE	DESCRIPTION
1	9/23/2022	GRADING & DRAINAGE REDESIGN

SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

ACCESS DRIVEWAY SECTIONS
SHEET 1 OF 3

SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

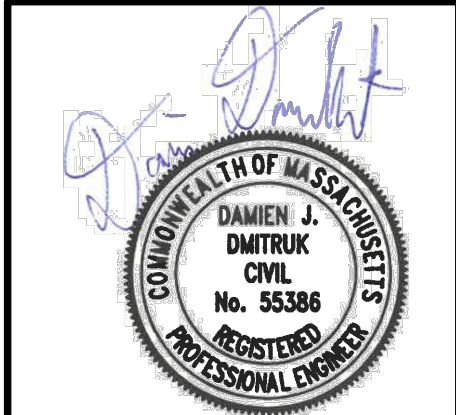
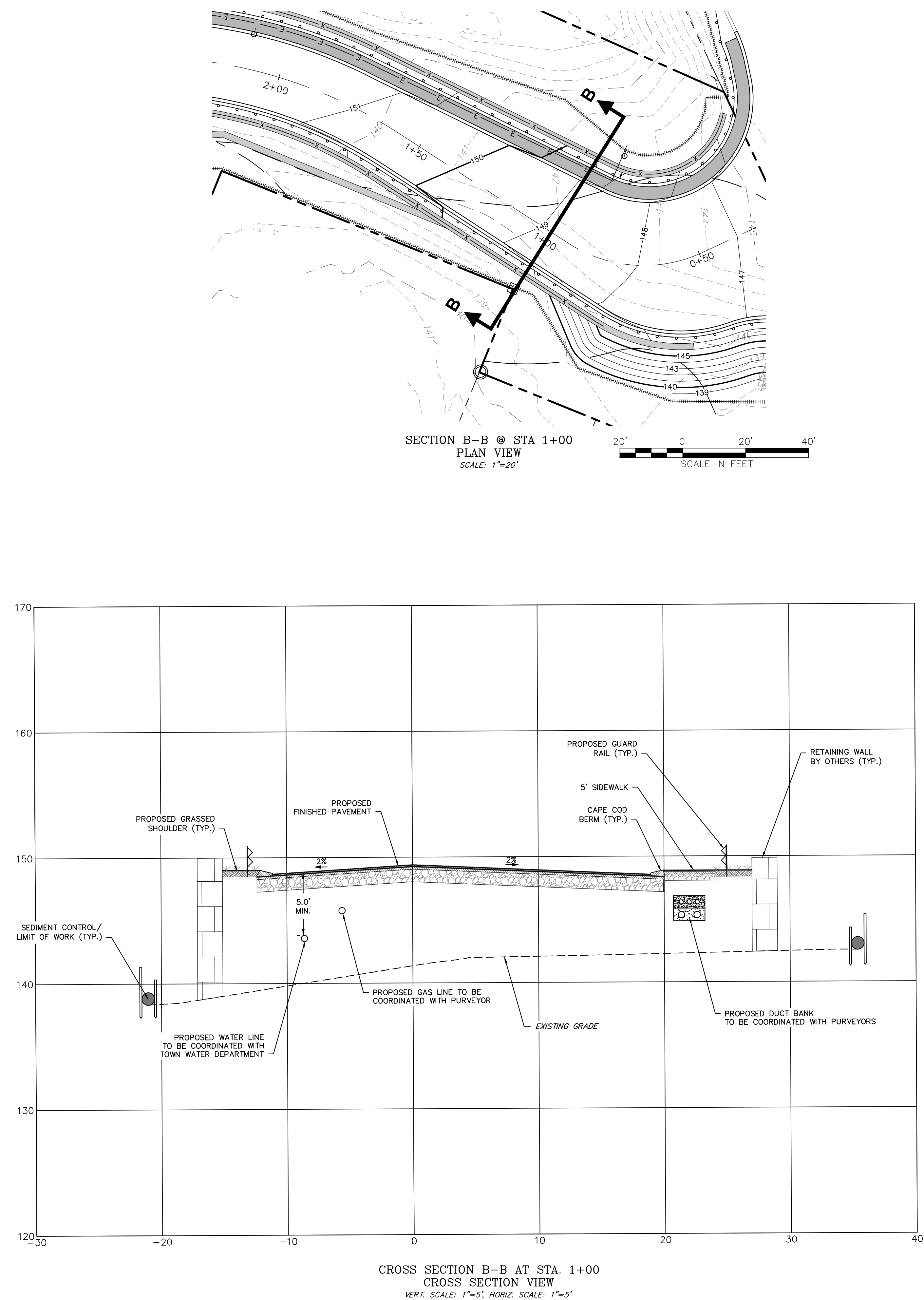
COMPREHENSIVE PERMIT PLANS

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4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-697-3191 OR 800-548-3355 FAX 508-697-5996
WEBSITE: www.coneco.com

DATE	02/14/2022
DESIGNED: MWK	CHECKED: CMJ
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	AS SHOWN
PROJECT NO.	3395.1



REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK
1	9/23/2022	GRADING & DRAINAGE REDESIGN	DJD/MSD

SHINGLEMILL, LLC 4 FIRST STREET BRIDGEWATER, MASSACHUSETTS 02324	ACCESS DRIVEWAY SECTIONS SHEET 2 OF 3
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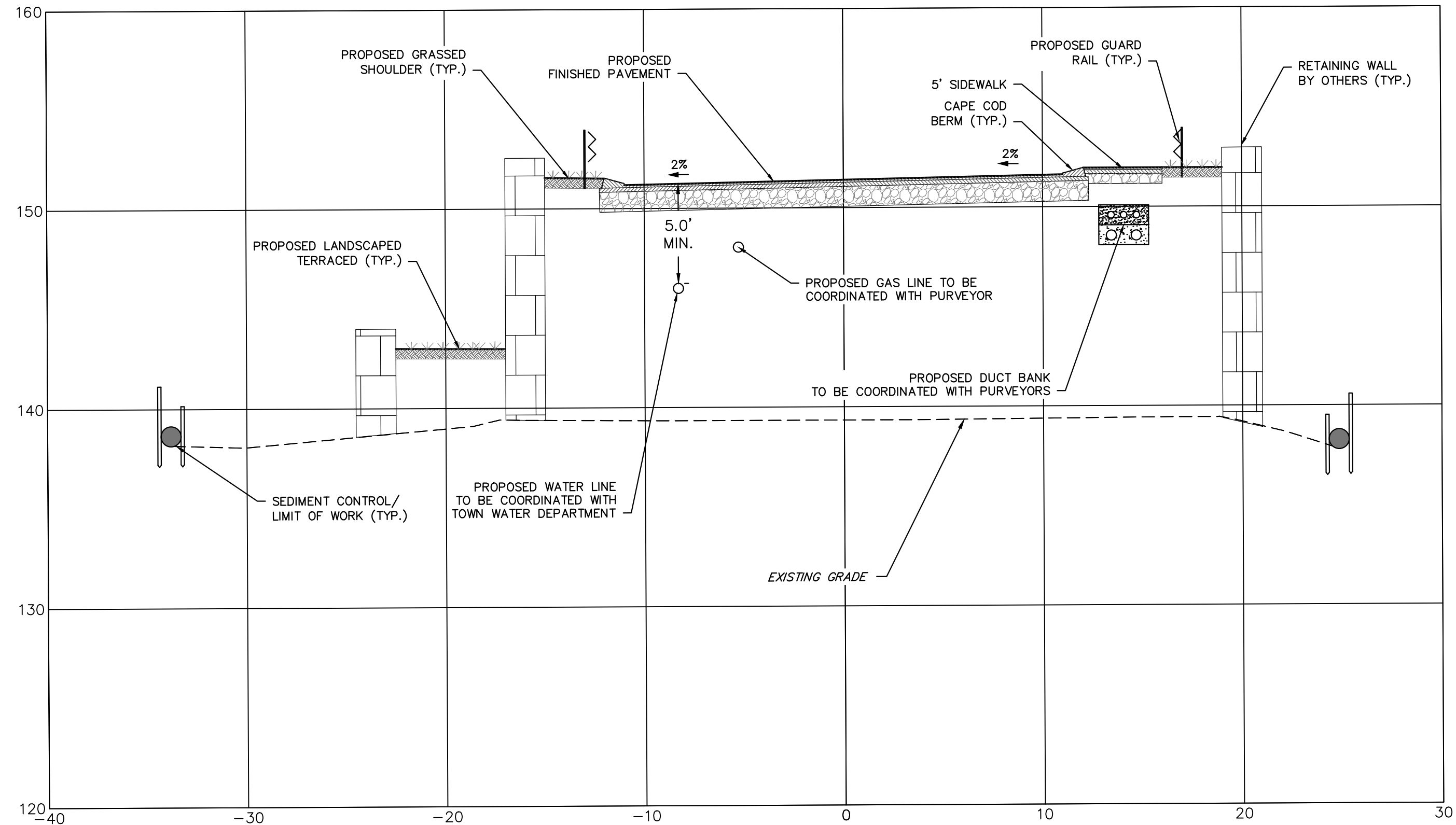
SHINGLEMILL APARTMENTS 75-79 FOND STREET ROCKLAND, MASSACHUSETTS 02370	COMPREHENSIVE PERMIT PLANS
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CONECO

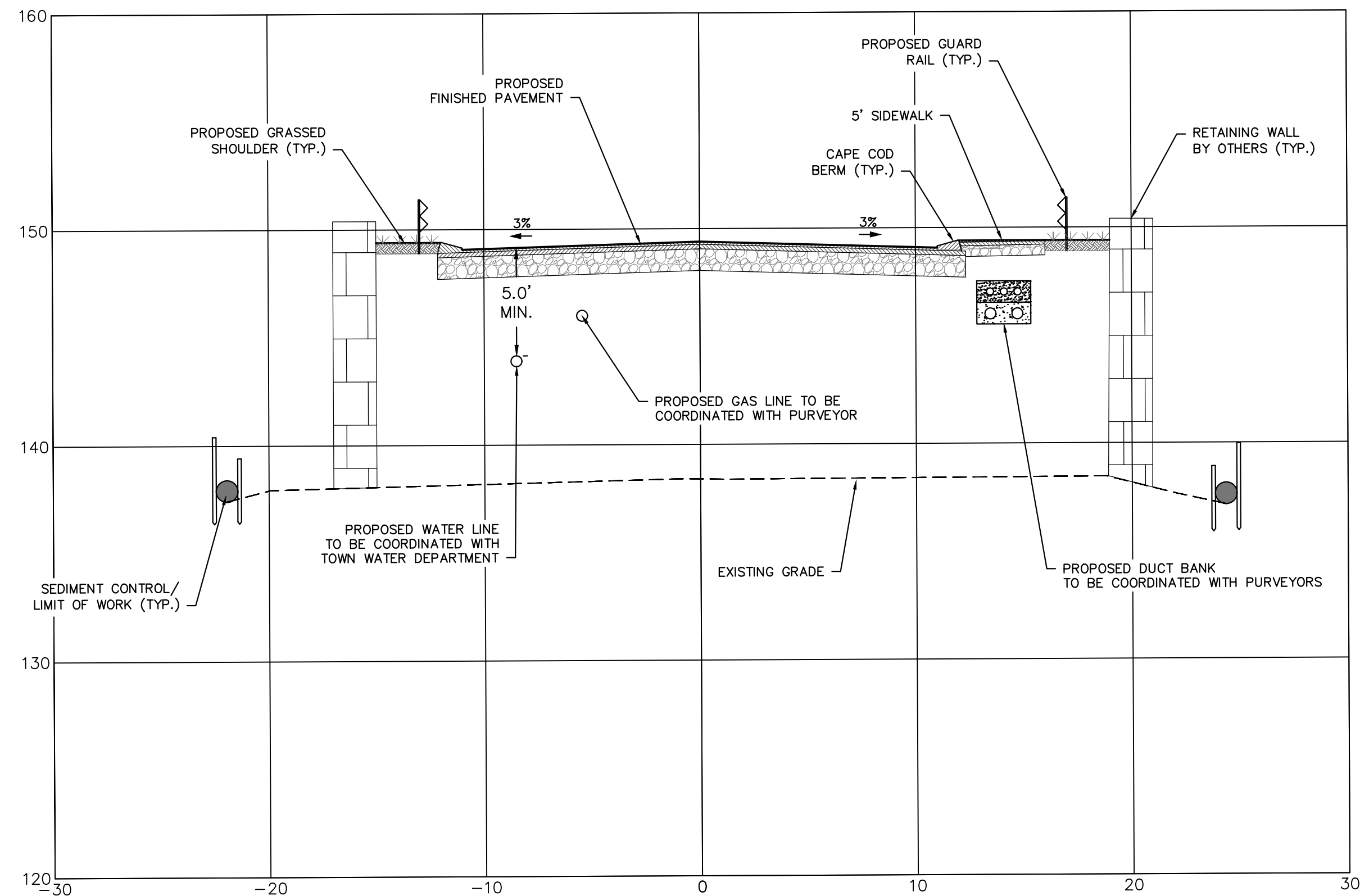
Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-597-3191 OR 800-548-5355; FAX 508-697-5996
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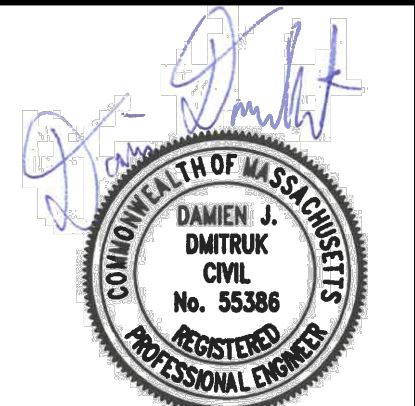
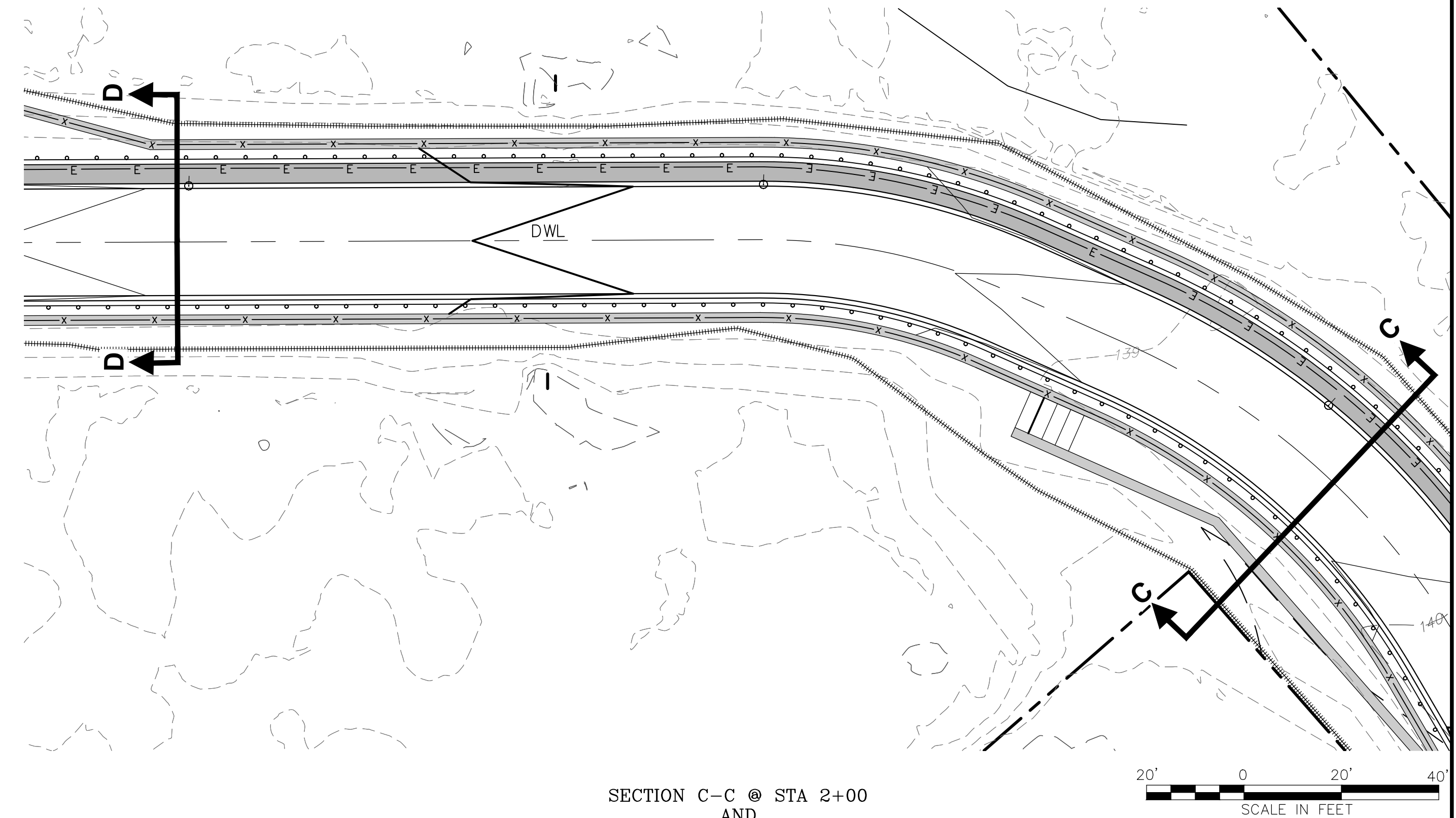
DATE	02/14/2022
DESIGNED: MWK	CHECKED: CMJ
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	AS SHOWN
PROJECT NO.	3395.1
SHEET NO.	20 OF 28



CROSS SECTION C-C AT STA. 2+00
CROSS SECTION VIEW
VERT. SCALE: 1"=5'; HORIZ. SCALE: 1"=5'



CROSS SECTION D-D AT STA. 4+50
CROSS SECTION VIEW
VERT. SCALE: 1"=5'; HORIZ. SCALE: 1"=5'



REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK
1	9/23/2022	GRADING & DRAINAGE REDESIGN	DJD/MSD

PREPARED FOR:
SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

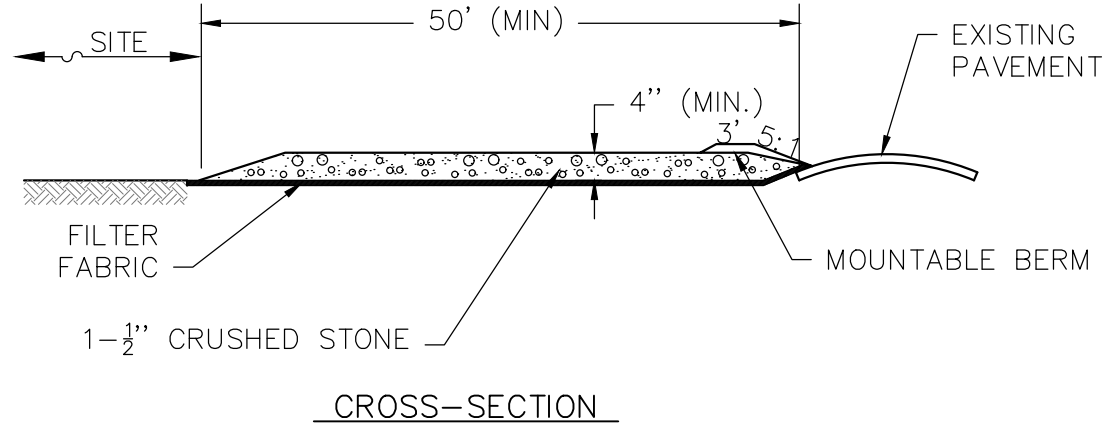
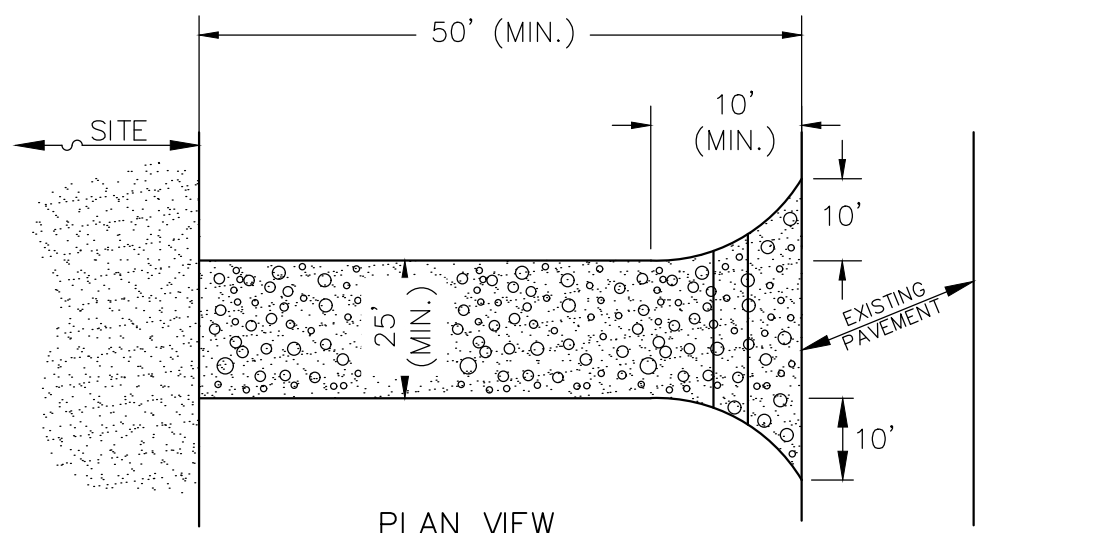
PROJECT:
SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

PLAN SET:
ACCESS DRIVEWAY SECTIONS
SHEET 3 OF 3

COMPREHENSIVE PERMIT PLANS

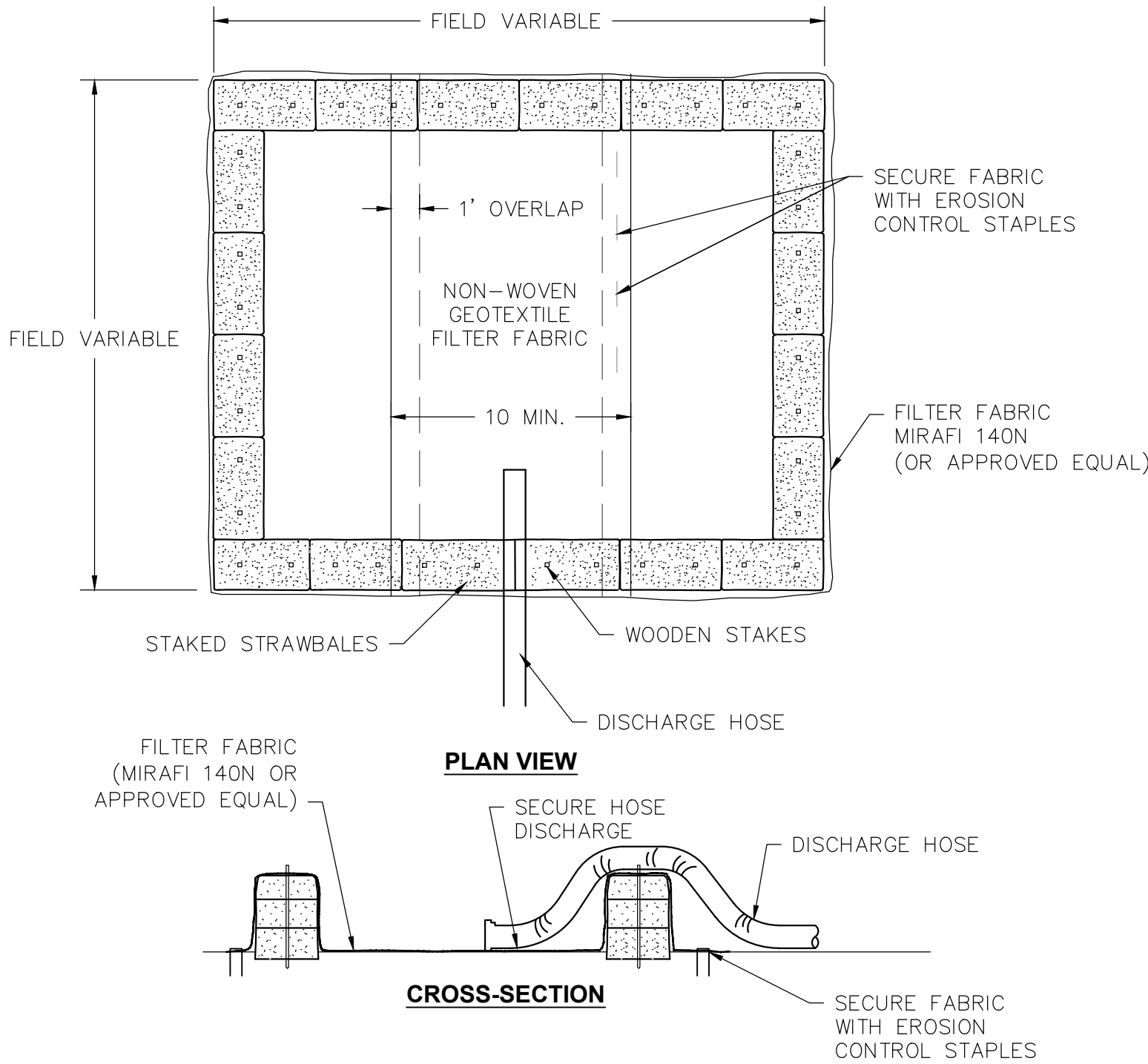
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Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-897-3191 OR 800-548-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE	02/14/2022
DESIGNED: MWK	CHECKED: CMH
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	AS SHOWN
PROJECT NO.	3395.1
SHEET NO.	



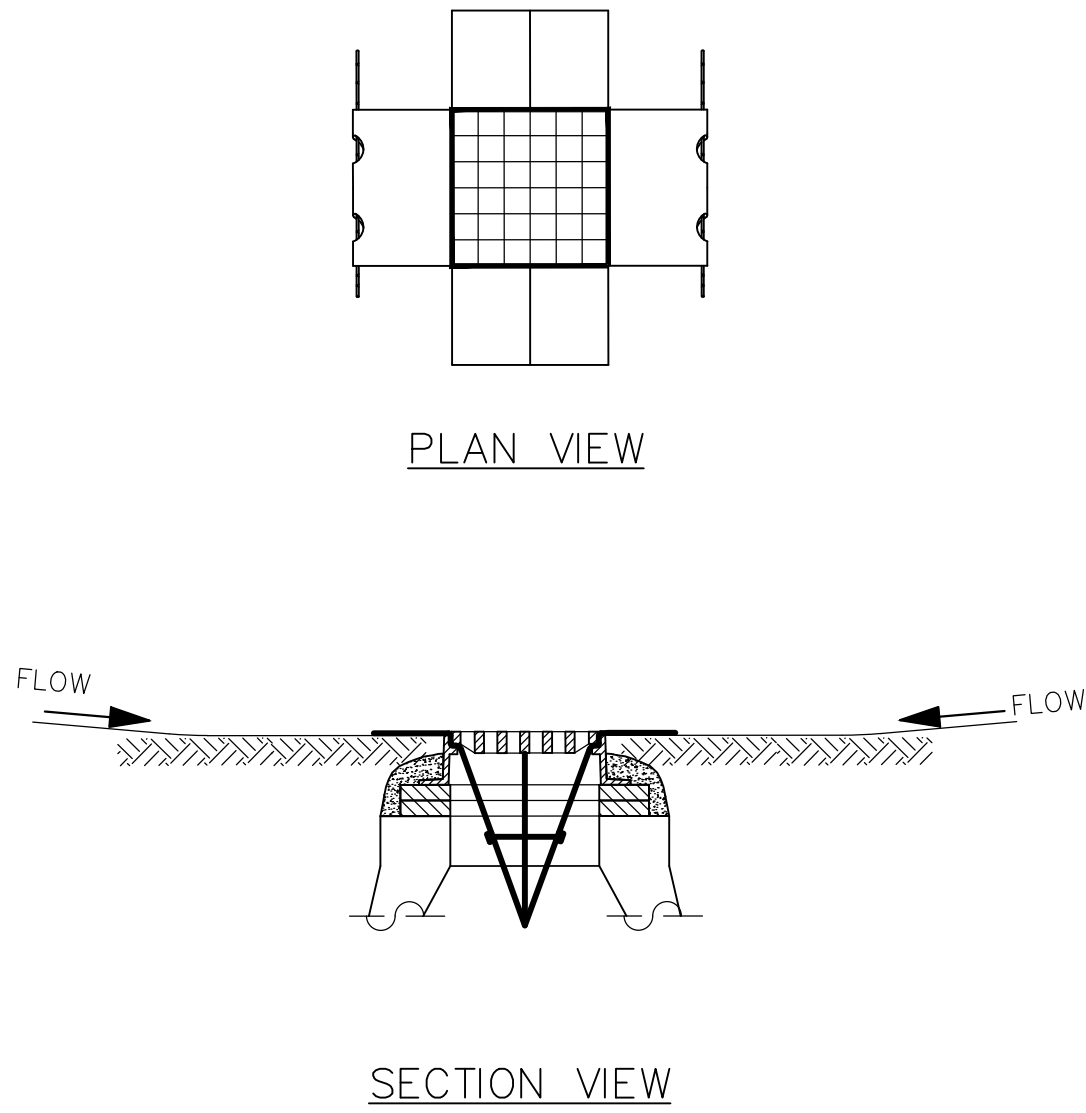
- NOTES:
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO REAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED.
 - PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



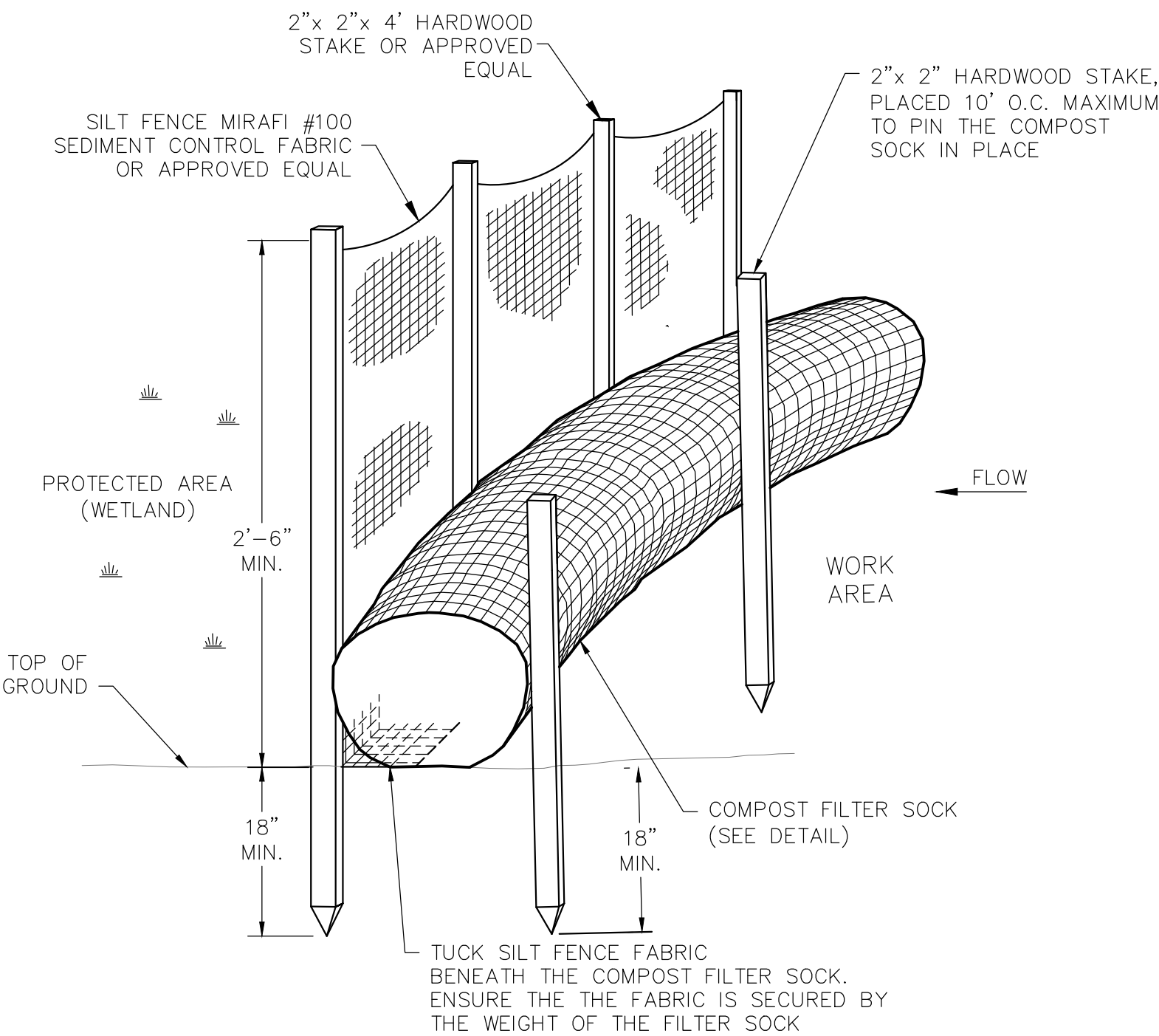
- NOTES:
- NUMBER OF STRAWBALES MAY VARY DEPENDING ON SITE CONDITIONS.
 - THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.
 - KEEP AS FAR FROM WETLANDS AS PRACTICAL.
 - CLEAN AND REMOVE AS SOON AS DEWATERING IS COMPLETE.

TYPICAL DEWATERING BASIN
N.T.S.



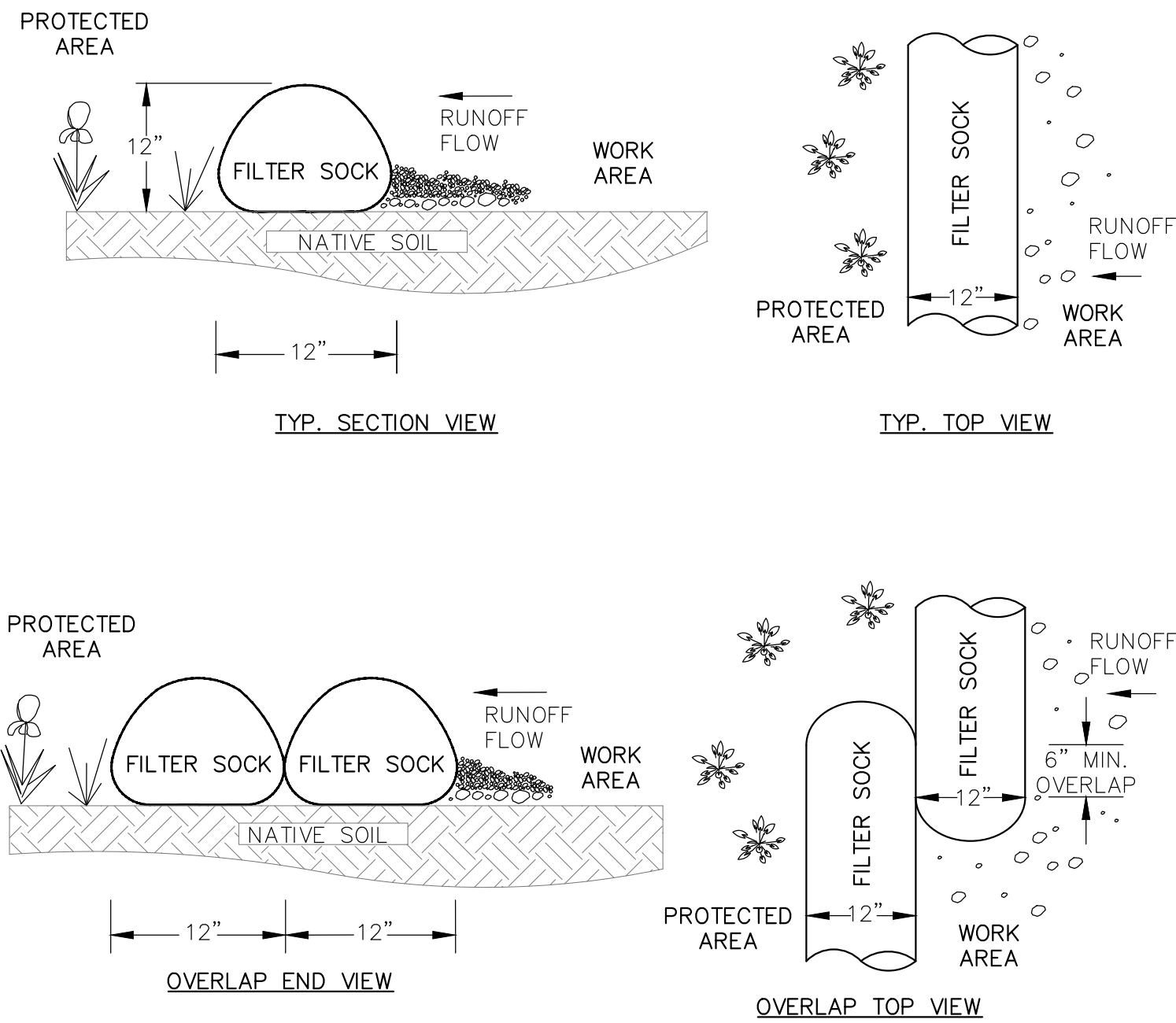
- NOTES:
- INSTALL SILTSACK IN ALL PROPOSED CATCH BASINS UNTIL AFTER BINDER COURSE IS PLACED AND HAYBALES HAVE BEEN REMOVED.
 - INSTALL SILTSACK IN ALL EXISTING CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK. SILT SACKS TO REMAIN UNTIL BINDER COURSE HAS BEEN PLACED AND EROSION CONTROLS HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILTSACK.
 - SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILTSACK SEDIMENT TRAP
N.T.S.



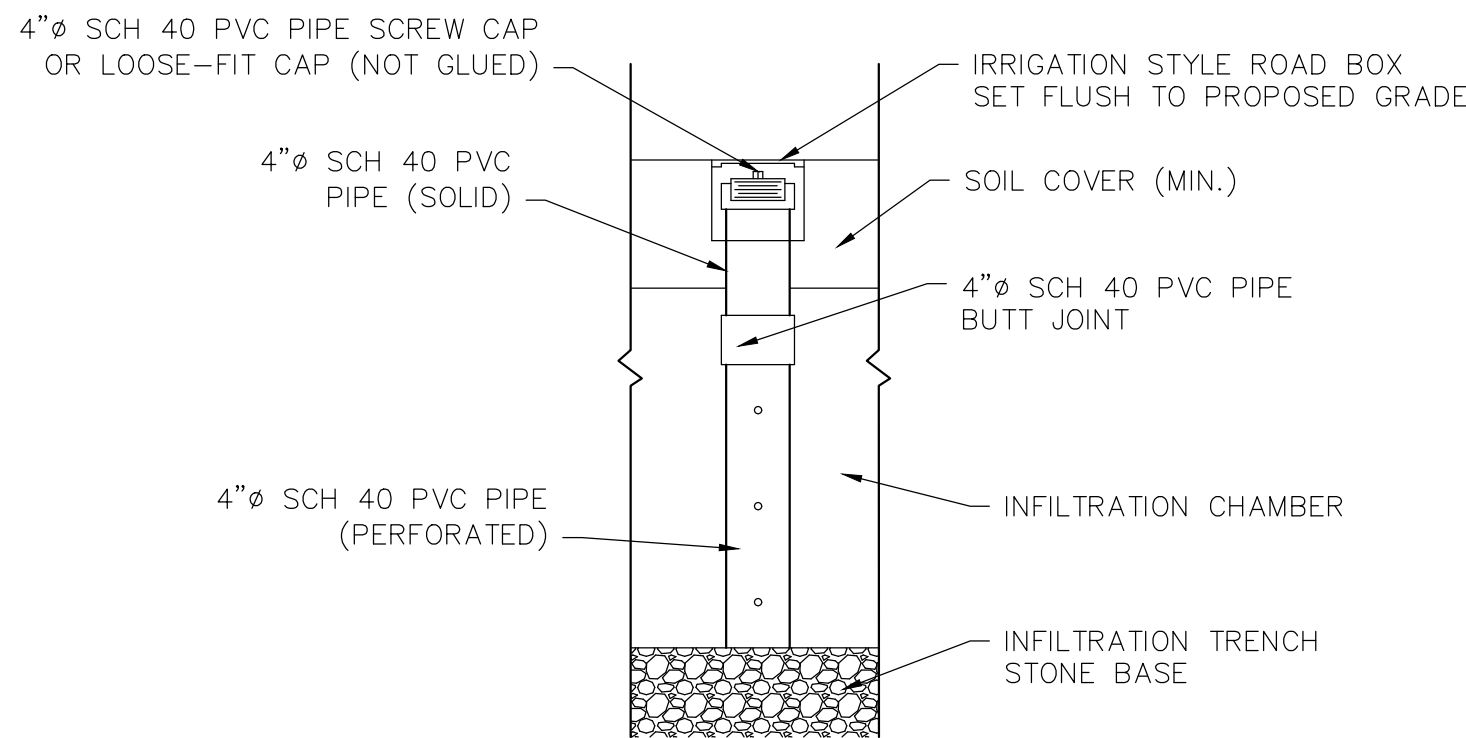
- NOTES:
- SILT FENCE CLOTH SHALL BE FASTENED SECURELY TO POSTS WITH WIRE TIES OR STAPLES AND POSTS SHALL BE SPACED EVERY 10 FEET.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6 INCHES AND FOLDED.
 - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.
 - INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED, OR WHEN SEDIMENT ACCUMULATES TO HALF THE HEIGHT OF FENCING.

SEDIMENT CONTROL BARRIER
N.T.S.

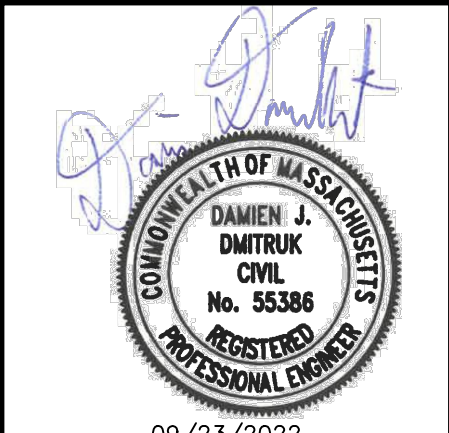


- NOTES:
- EACH FILTER SOCK SHALL CONSIST OF COMPOST MATERIAL WRAPPED IN PEREABLE. COMPOST MATERIAL AND FABRIC CASING SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL PAY FOR COMPOST MATERIAL TESTING IF REQUIRED.
 - FILTER SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 - WHEN JOINING TWO WATTLES, TIGHTLY ABUT BOTH ENDS OR OVERLAP THE WATTLES APPROXIMATELY 12". IF WATTLES ARE JOINED BY ABUTTING THE ENDS, TIE THE ENDS TOGETHER USING HEAVY TWINE OR PLASTIC LOCKING TIES.
 - ENDS OF WATTLE SHALL BE TURNED UP THE SLOPE, SO AS TO RETAIN WATER AND PREVENT ITS RELEASE FROM THE END OF THE WATTLE.

12" DIA. COMPOST FILTER SOCK DETAIL
N.T.S.



INSPECTION PORT DETAIL
N.T.S.



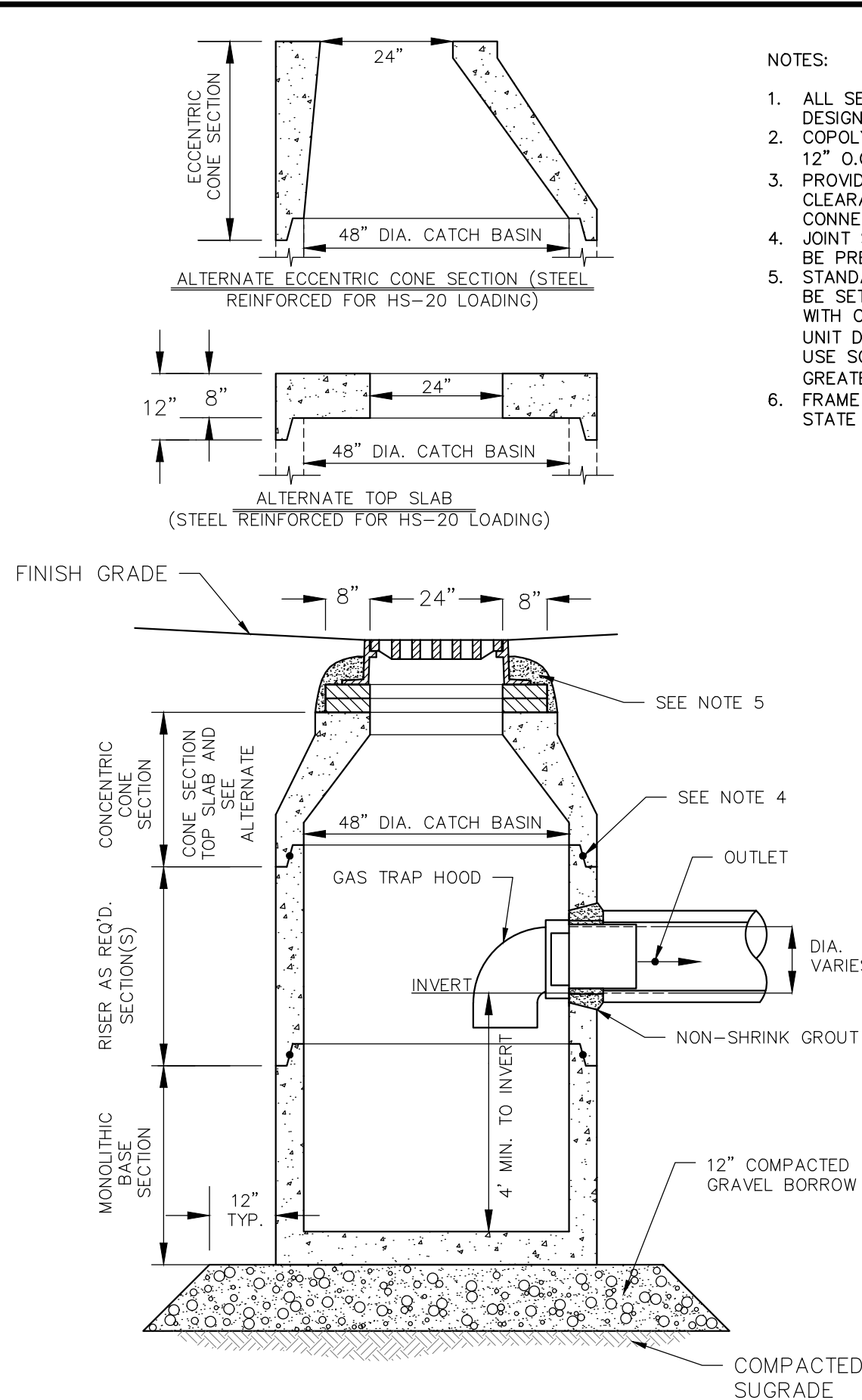
NO.	DATE	DESCRIPTION	DR/CK
1	9/23/2022	GRADING & DRAINAGE REDESIGN	DJD/MSD

SHINGLEMILL, LLC 4 FIRST STREET BRIDGEWATER, MASSACHUSETTS 02324	02324
SHINGLEMILL APARTMENTS 75-79 FOND STREET ROCKLAND, MASSACHUSETTS 02370	02370

COMPREHENSIVE PERMIT PLANS	DETAILS SHEET 1 OF 7
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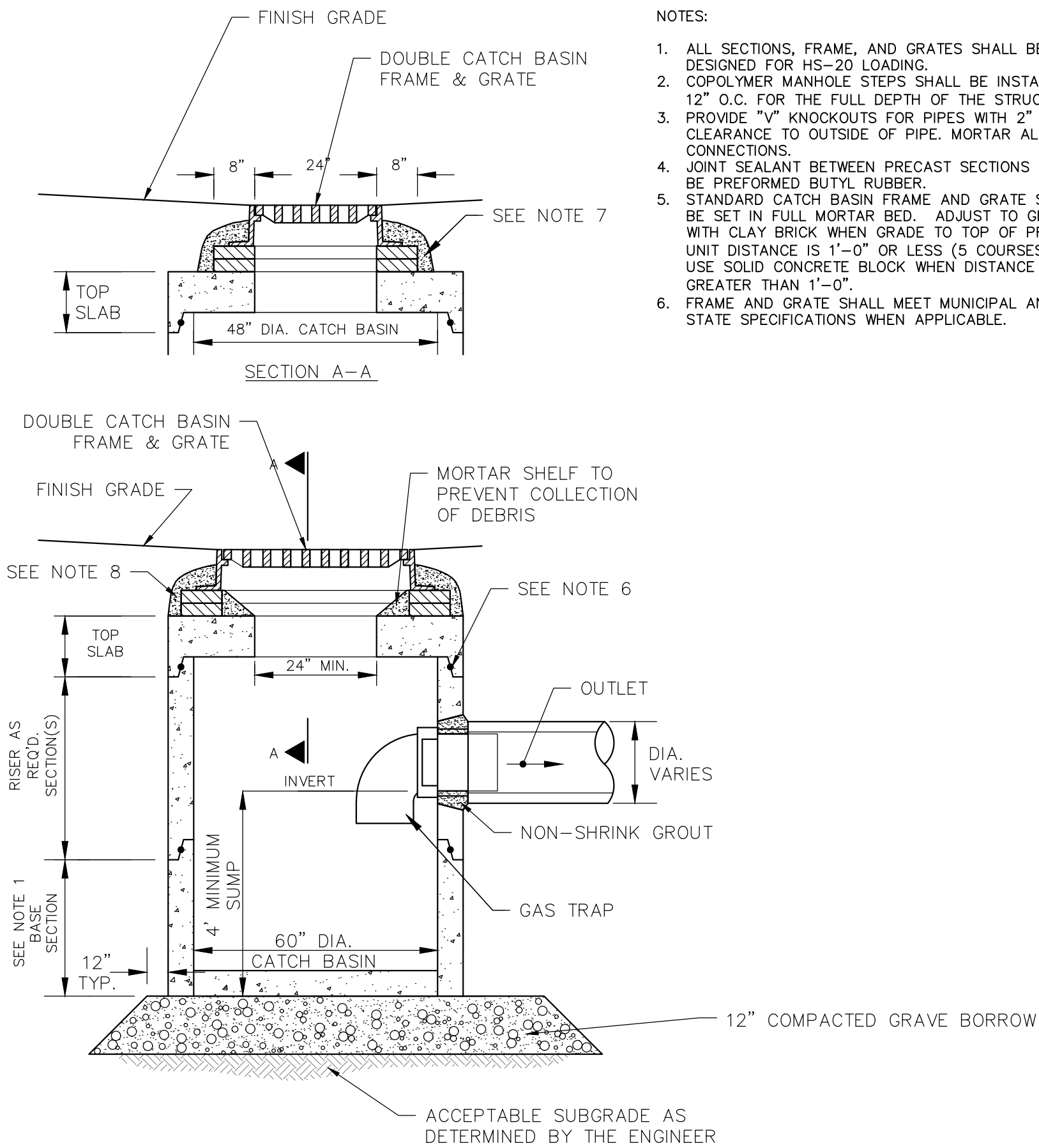
CONECO
Engineers & Scientists
4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-897-3191 OR 800-548-3355; FAX 508-697-5996
WEBSITE: www.coneco.com

DATE	02/14/2022
DESIGNED: MWK	CHECKED: DJD
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	N.T.S.
PROJECT NO.	3395.1
SHEET NO.	22



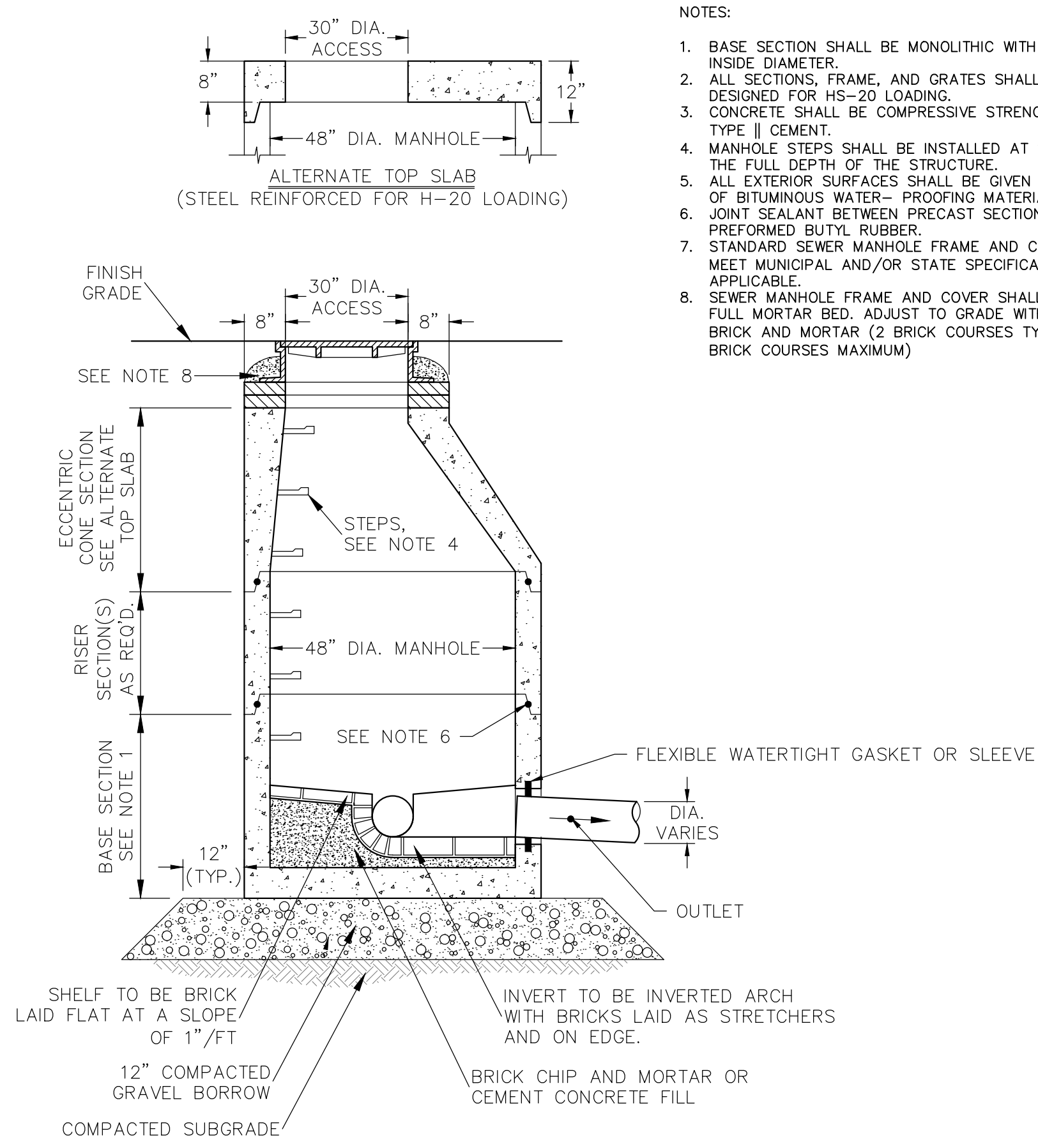
- NOTES:
1. ALL SECTIONS, FRAME, AND GRATES SHALL BE DESIGNED FOR HS-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. STANDARD CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK WHEN GRADE TO TOP OF PRECAST UNIT DISTANCE IS 1'-0" OR LESS (6 COURSES MAX.). USE SOLID CONCRETE BLOCK WHEN DISTANCE IS GREATER THAN 1'-0".
 6. FRAME AND GRATE SHALL MEET MUNICIPAL AND/OR STATE SPECIFICATIONS WHEN APPLICABLE.

CATCH BASIN (CB)
N.T.S.



- NOTES:
1. ALL SECTIONS, FRAME, AND GRATES SHALL BE DESIGNED FOR HS-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. STANDARD CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK WHEN GRADE TO TOP OF PRECAST UNIT DISTANCE IS 1'-0" OR LESS (6 COURSES MAX.). USE SOLID CONCRETE BLOCK WHEN DISTANCE IS GREATER THAN 1'-0".
 6. FRAME AND GRATE SHALL MEET MUNICIPAL AND/OR STATE SPECIFICATIONS WHEN APPLICABLE.

DOUBLE GRATE CATCH BASIN (DCB) WITH TRAP
N.T.S.



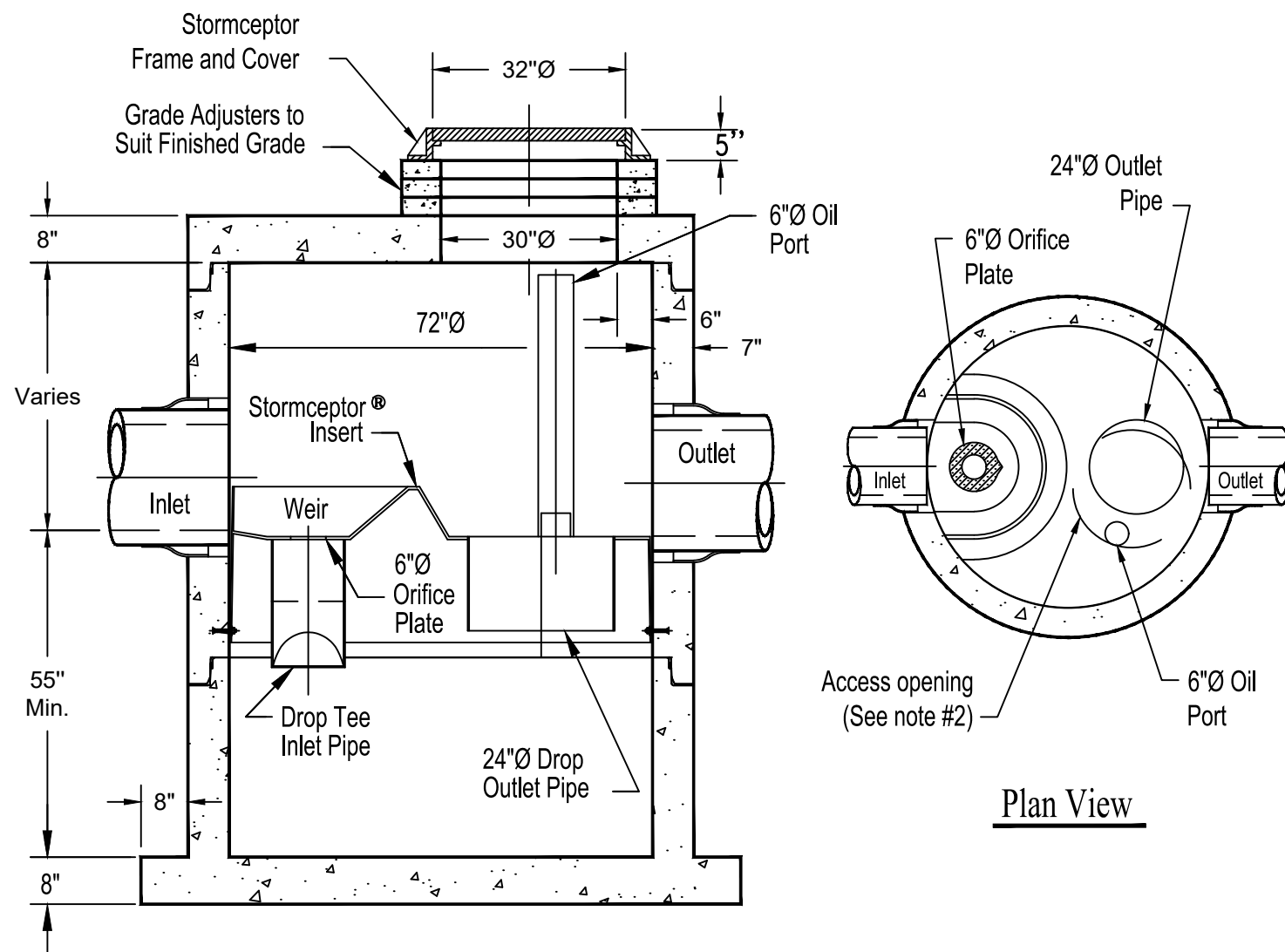
- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH A 48" INSIDE DIAMETER.
 2. ALL SECTIONS, FRAME, AND GRATES SHALL BE DESIGNED FOR HS-20 LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI TYPE II CEMENT.
 4. MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 5. ALL EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER- PROOFING MATERIAL.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 7. STANDARD SEWER MANHOLE FRAME AND COVER SHALL MEET MUNICIPAL AND/OR STATE SPECIFICATIONS WHEN APPLICABLE.
 8. SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

SANITARY SEWER MANHOLE (SMH)
N.T.S.



Concrete Pipe Division

STC 900 Precast Concrete Stormceptor®
(900 U.S. Gallon Capacity)

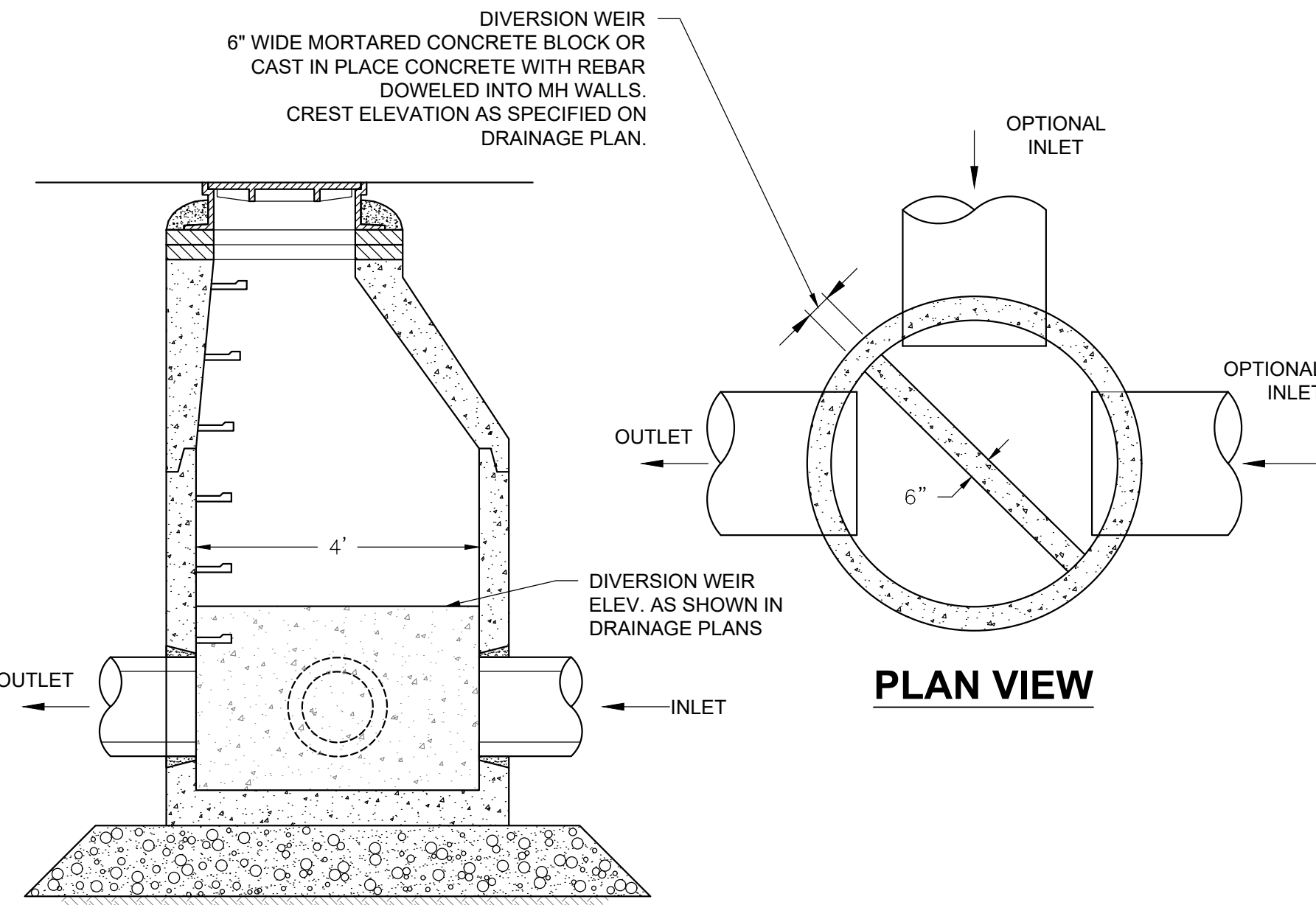


Section Thru Chamber

Plan View

- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

Rinker 028

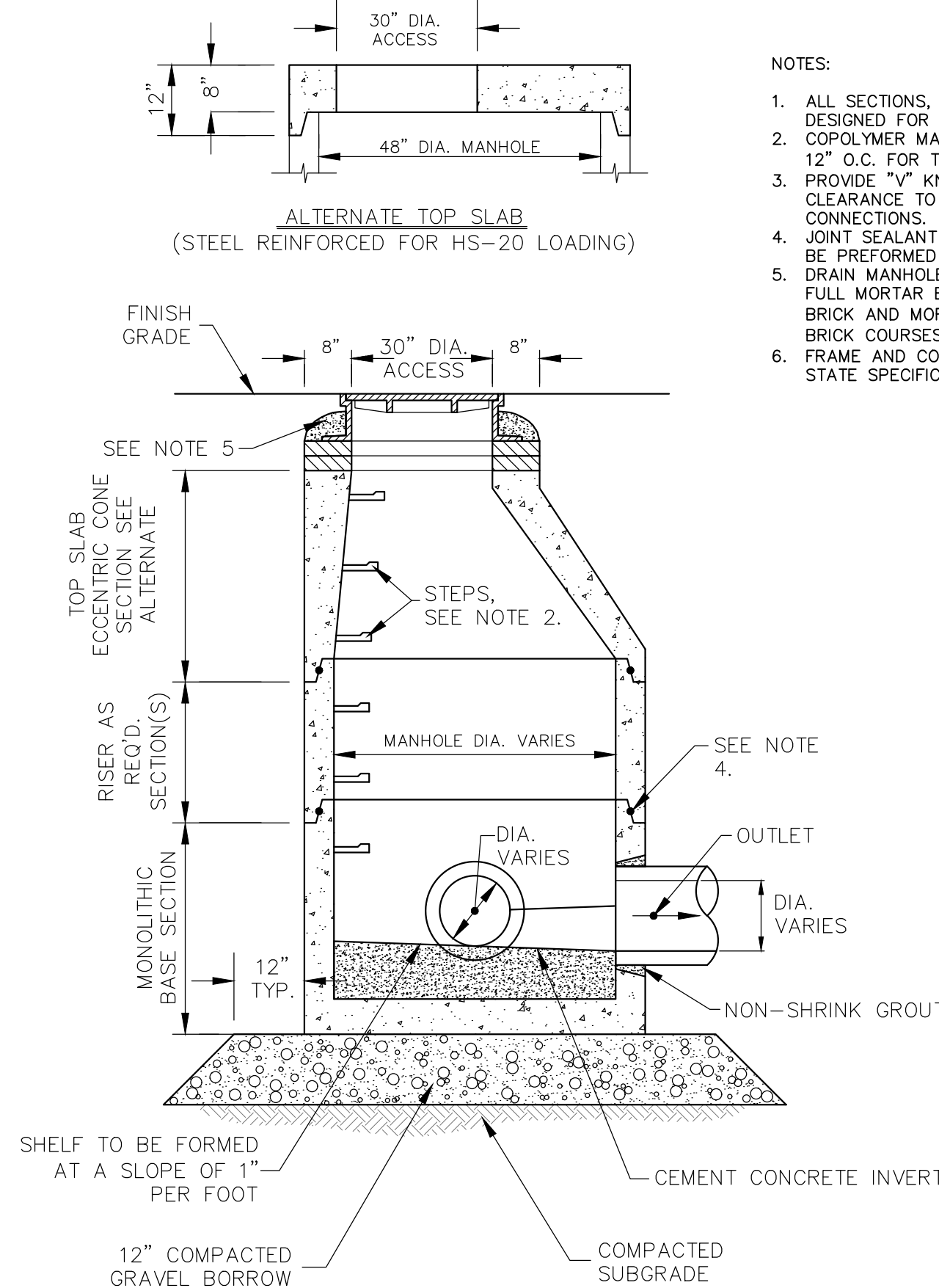


SECTION

PLAN VIEW

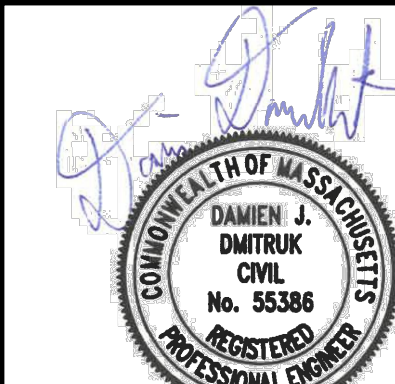
- NOTES:
1. ALL SECTIONS, FRAME, AND GRATES SHALL BE DESIGNED FOR HS-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. DIVERSION WEIR SHALL HOLD LOW FLOW STORMWATER WITHIN THE INFILTRATION SYSTEM. HIGHER FLOW RATES SHALL OVERPASS THE WEIR.
 6. MANHOLE DIAMETER SHALL BE SET BY THE PRECAST MANUFACTURER TO ALLOW ROOM FOR PIPE PENETRATIONS, UNLESS OTHERWISE SPECIFIED.
 7. REFER TO DRAINAGE PLANS FOR PIPE MATERIAL, DIAMETER, AND INVERTS.

DIVERSION WEIR DRAIN MANHOLE (WMH)
N.T.S.



- NOTES:
1. ALL SECTIONS, FRAME, AND GRATES SHALL BE DESIGNED FOR HS-20 LOADING.
 2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 3. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
 5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)
 6. FRAME AND COVER SHALL MEET MUNICIPAL AND/OR STATE SPECIFICATIONS WHEN APPLICABLE.

DRAIN MANHOLE (DMH)
N.T.S.



09/23/2022

NO.	DATE	DESCRIPTION	DR/CK
1	9/23/2022	GRADING & DRAINAGE REDESIGN	D/D/MSD

PREPARED FOR: SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

DRAWING: DETAILS
SHEET 2 OF 7

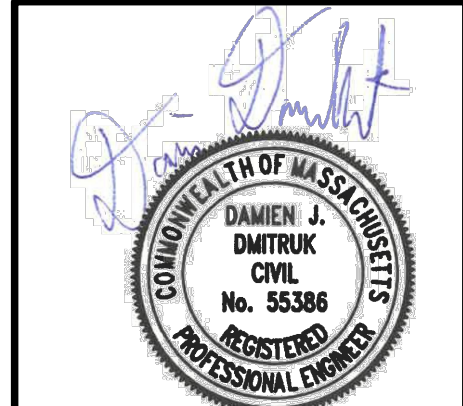
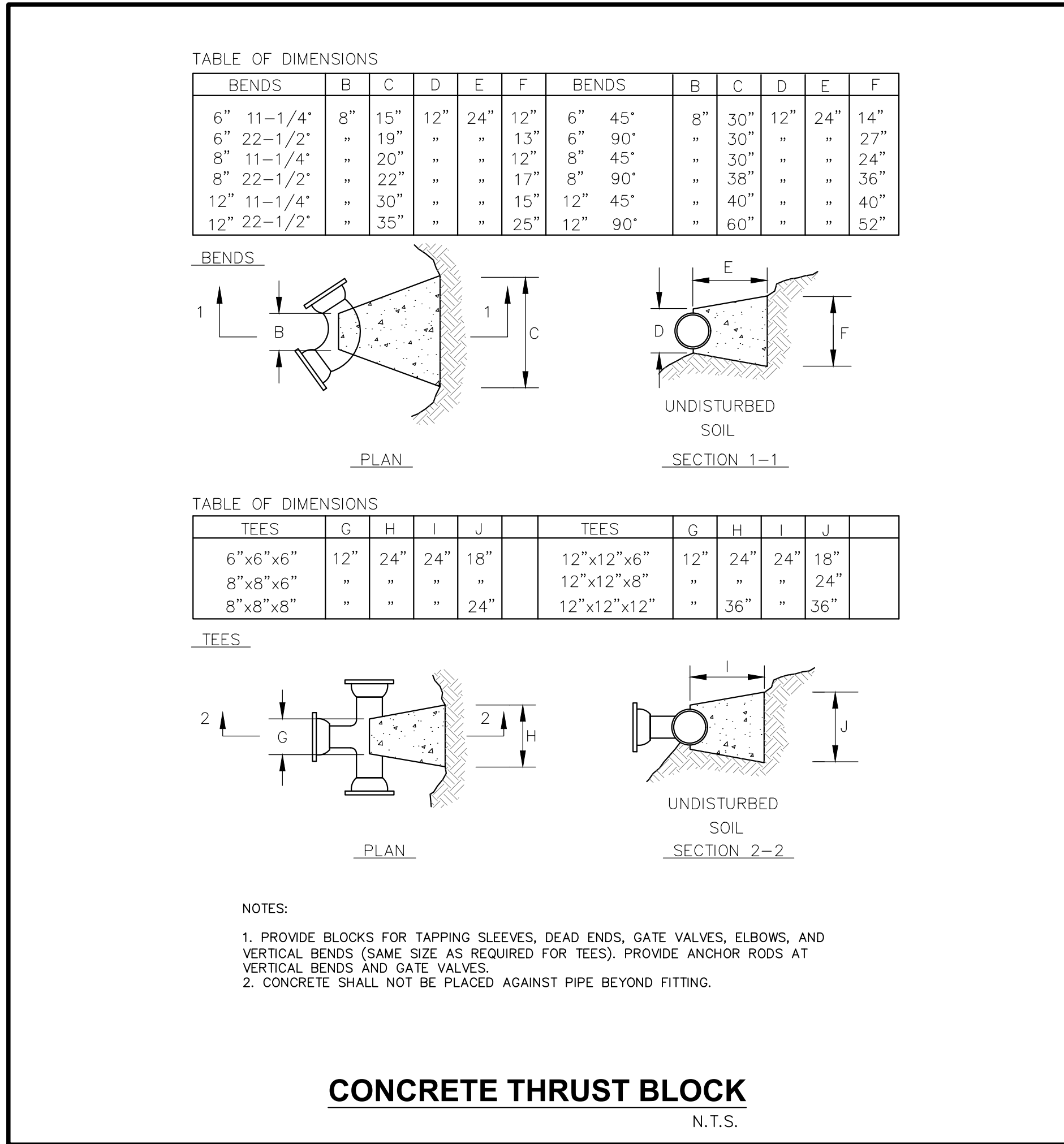
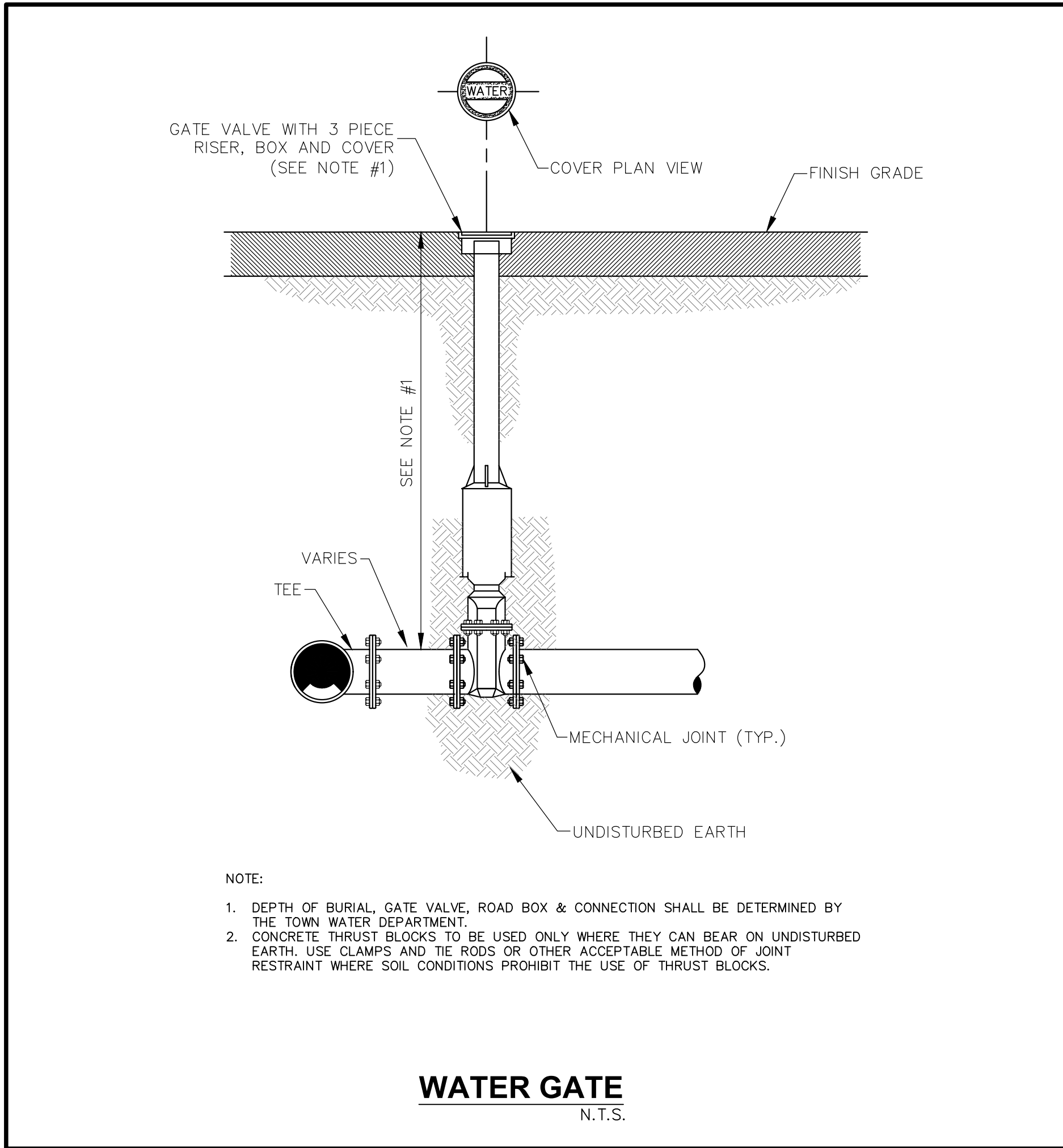
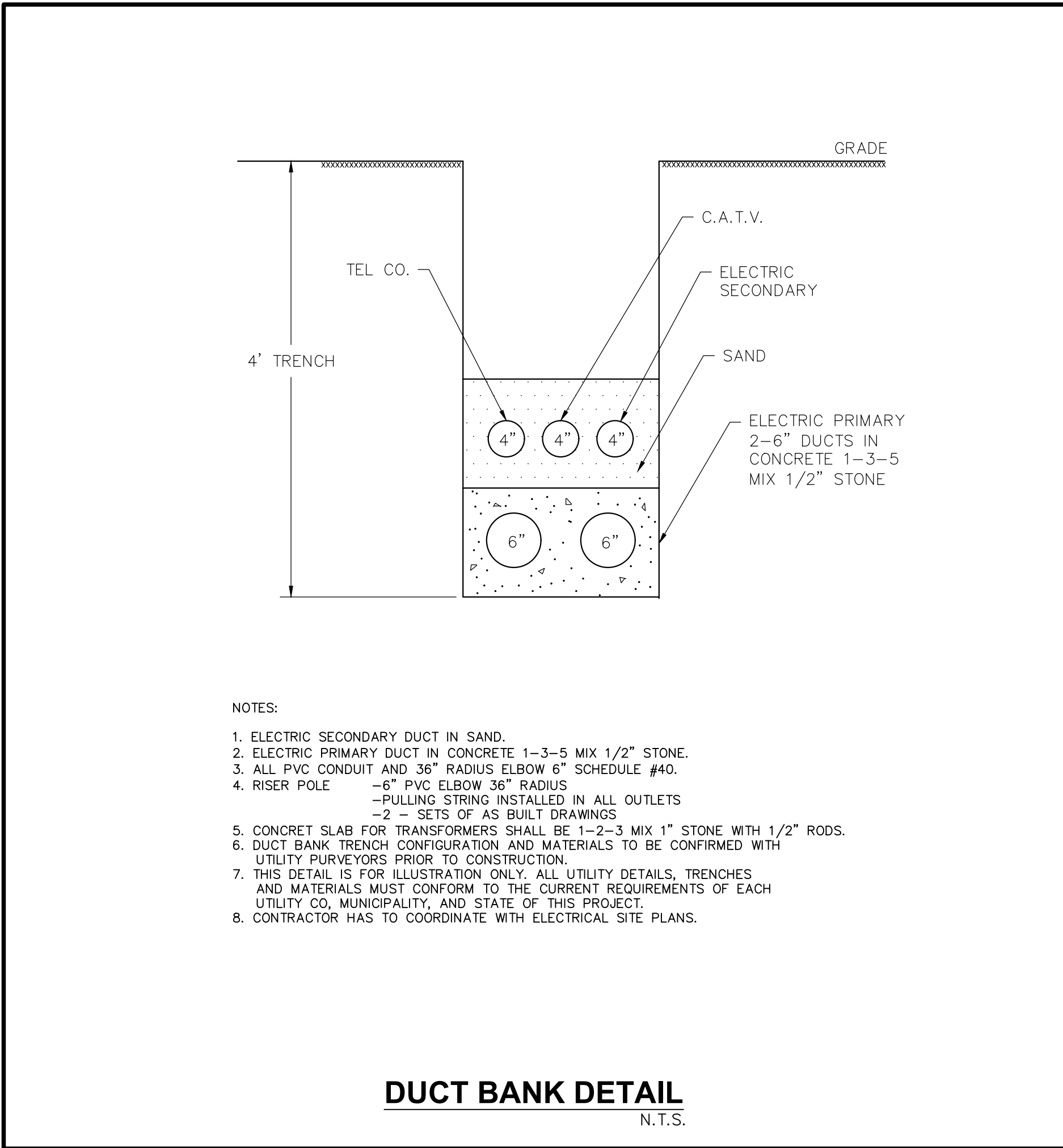
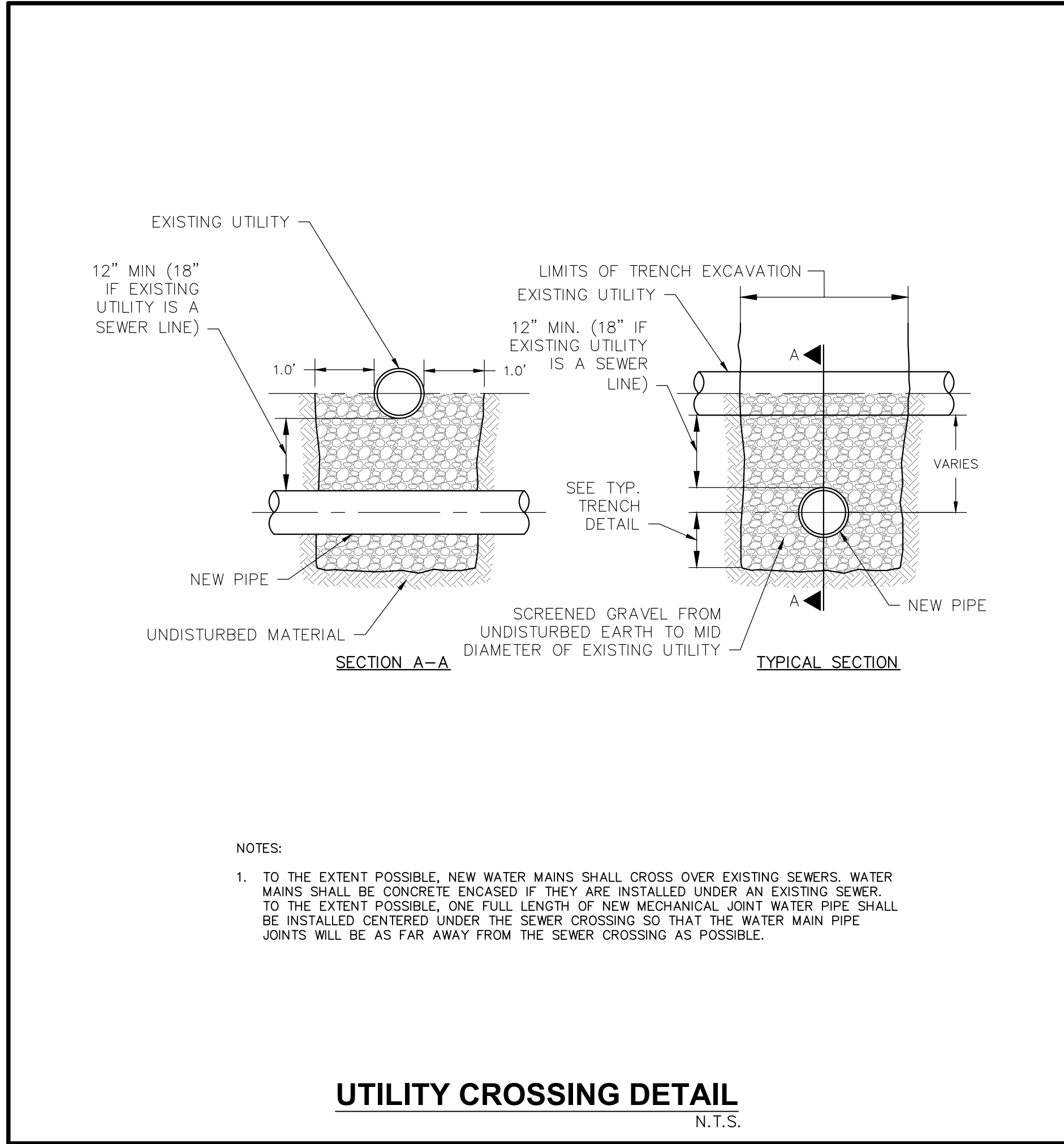
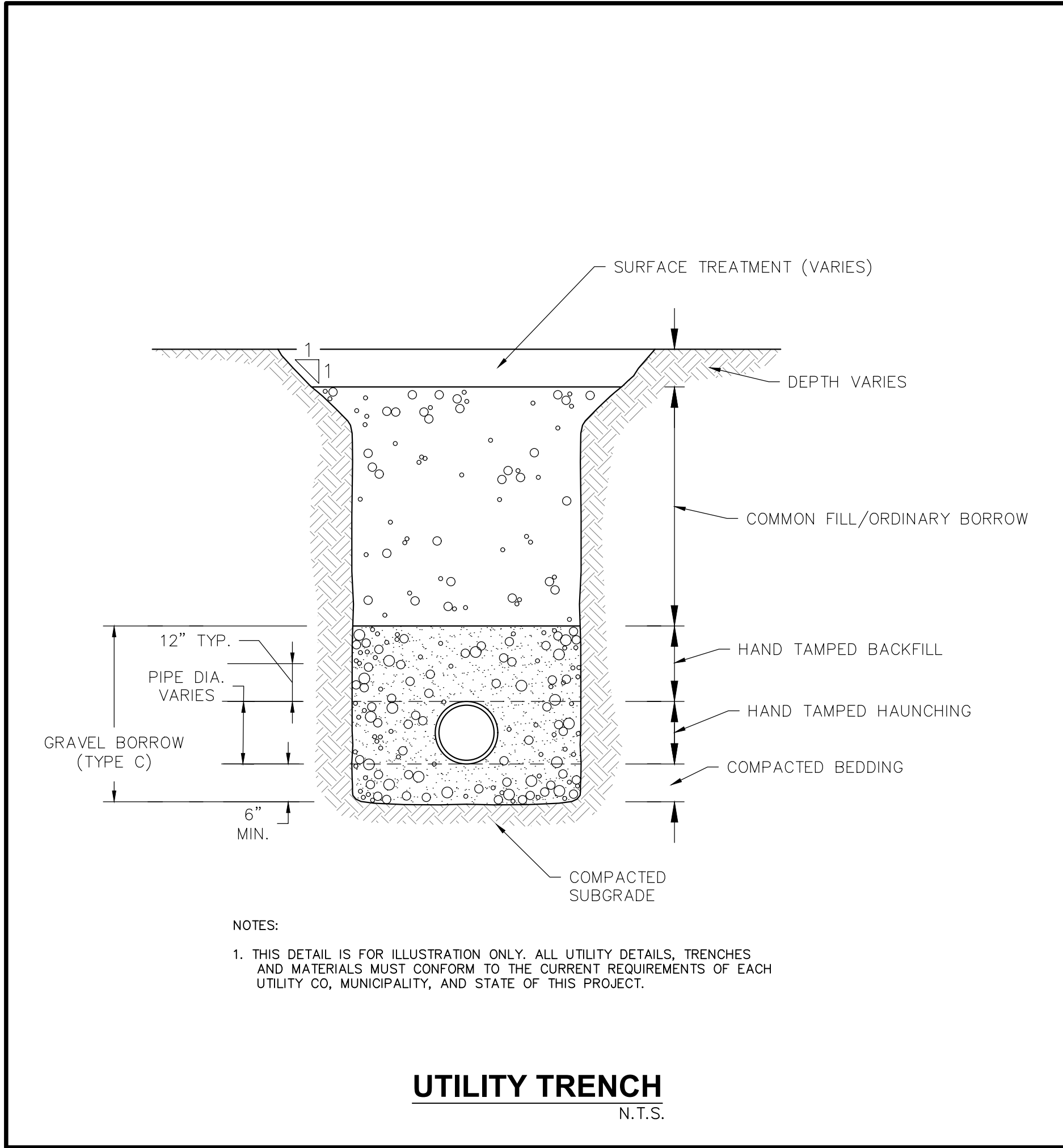
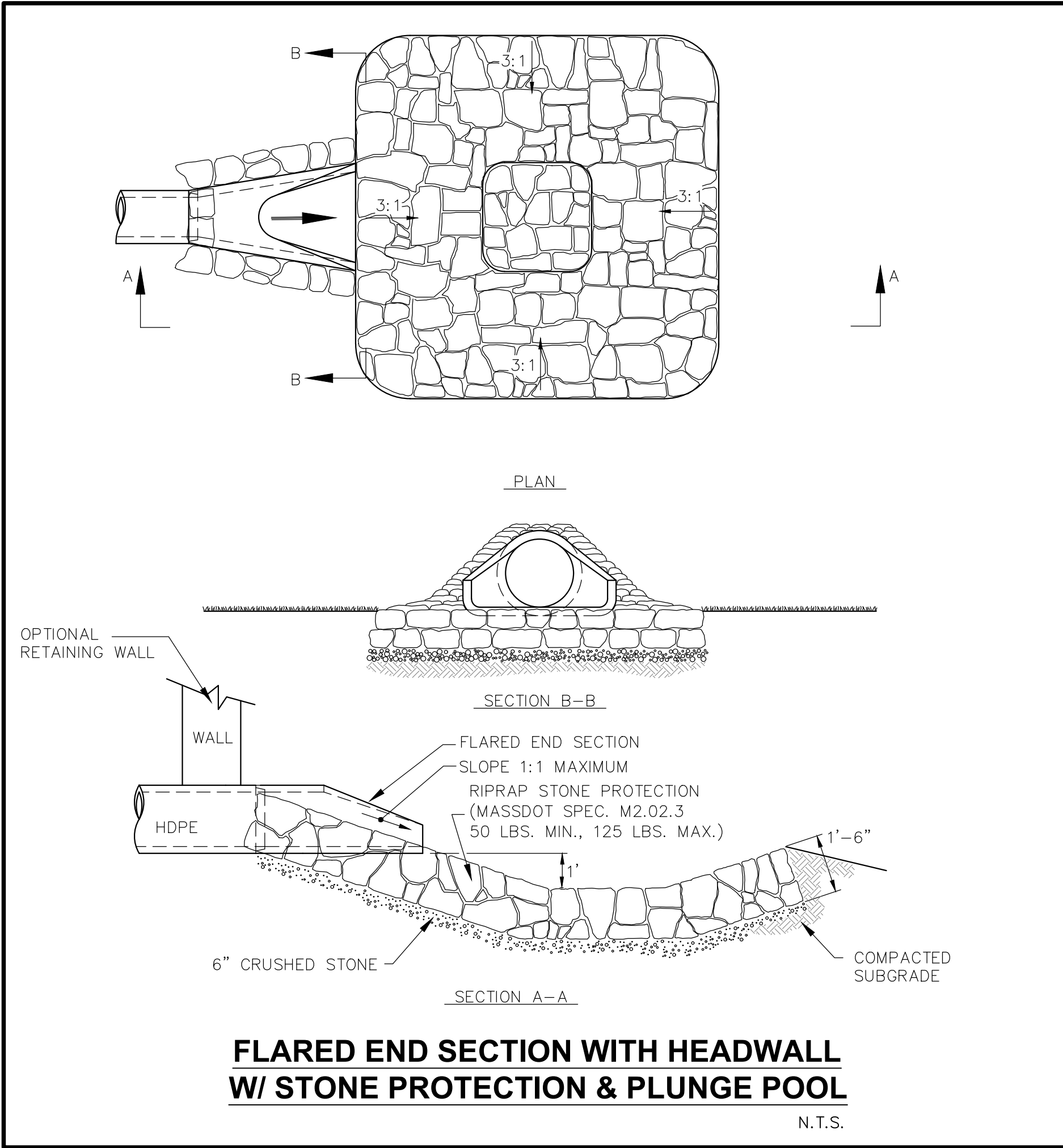
PROJECT: SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

PLAN SET: COMPREHENSIVE PERMIT PLANS



DATE	02/14/2022
DESIGNED: MWK	CHECKED: DJD
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	N.T.S.
PROJECT NO.	3395.1
SHEET NO.	23

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OF 28



NO.	DATE	DESCRIPTION	DR/CK
1	9/23/2022	GRADING & DRAINAGE REDESIGN	DJD/MSD

PROJECT: SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

PREPARED FOR: SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

DRAWING: DETAILS
SHEET 3 OF 7

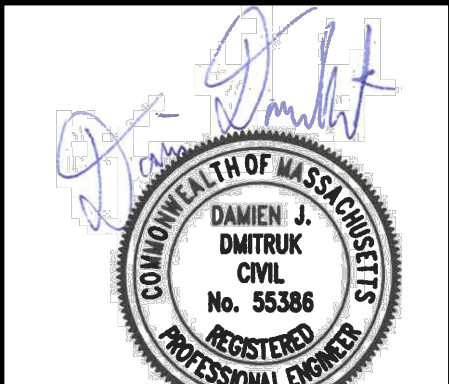
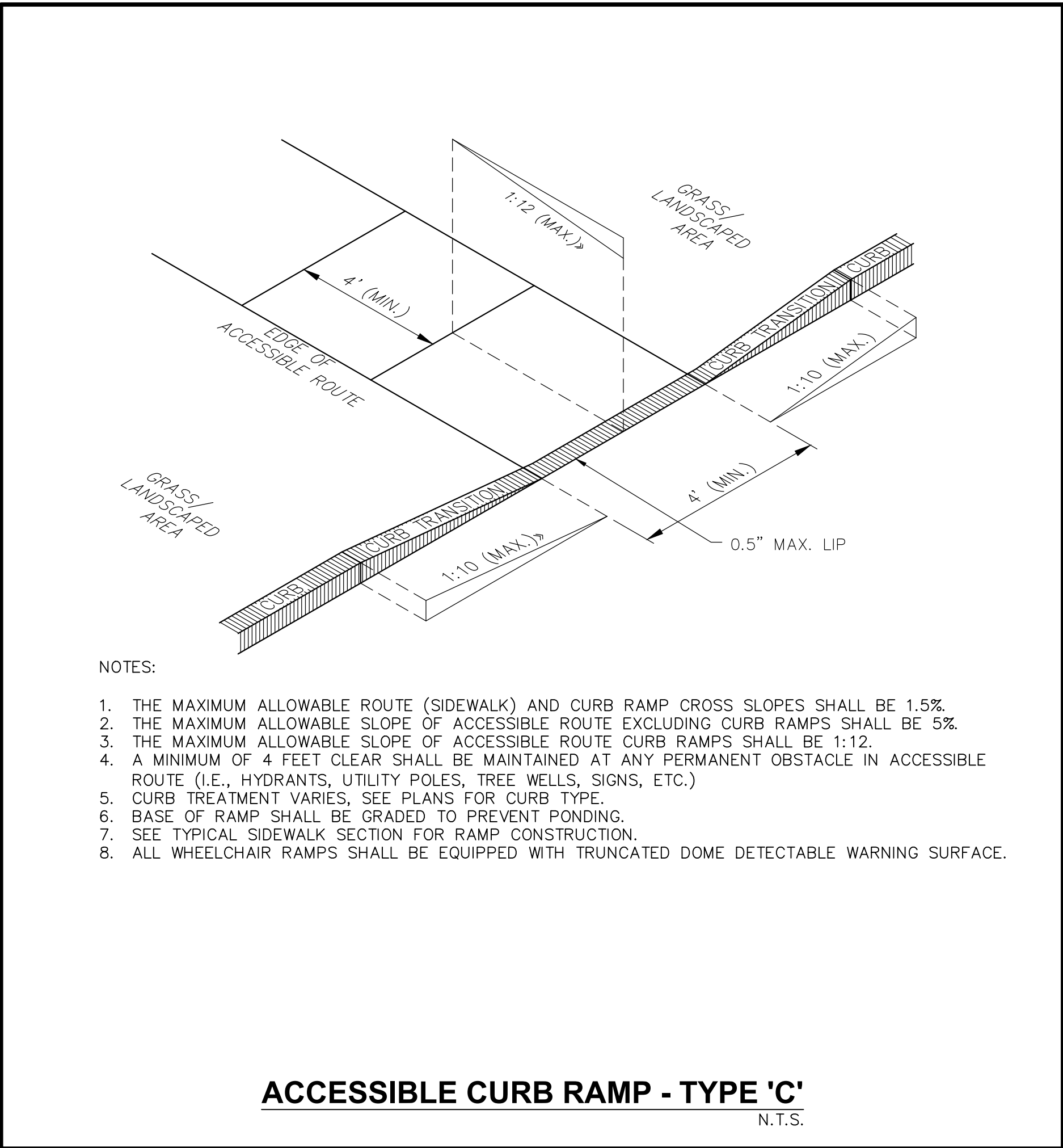
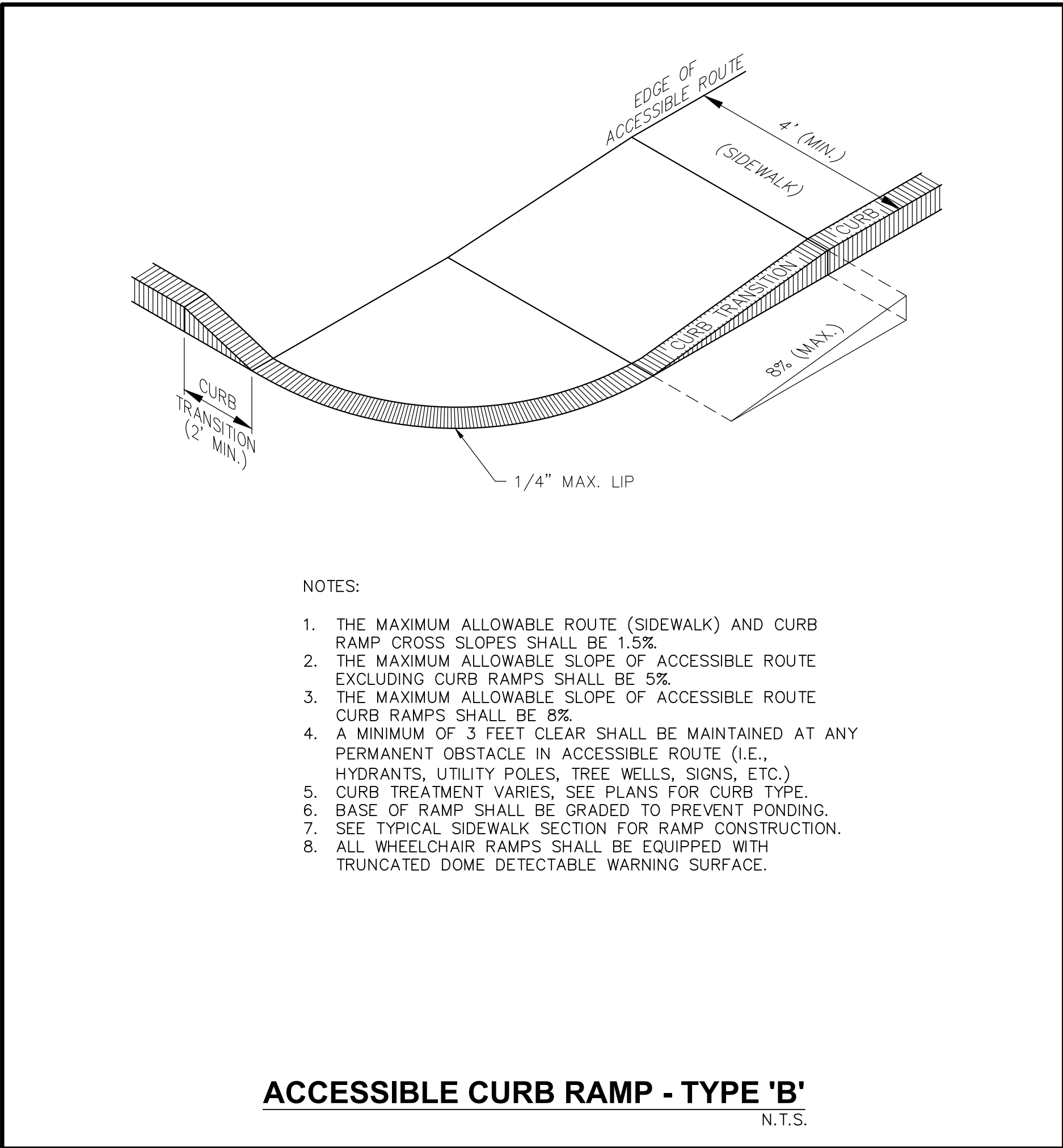
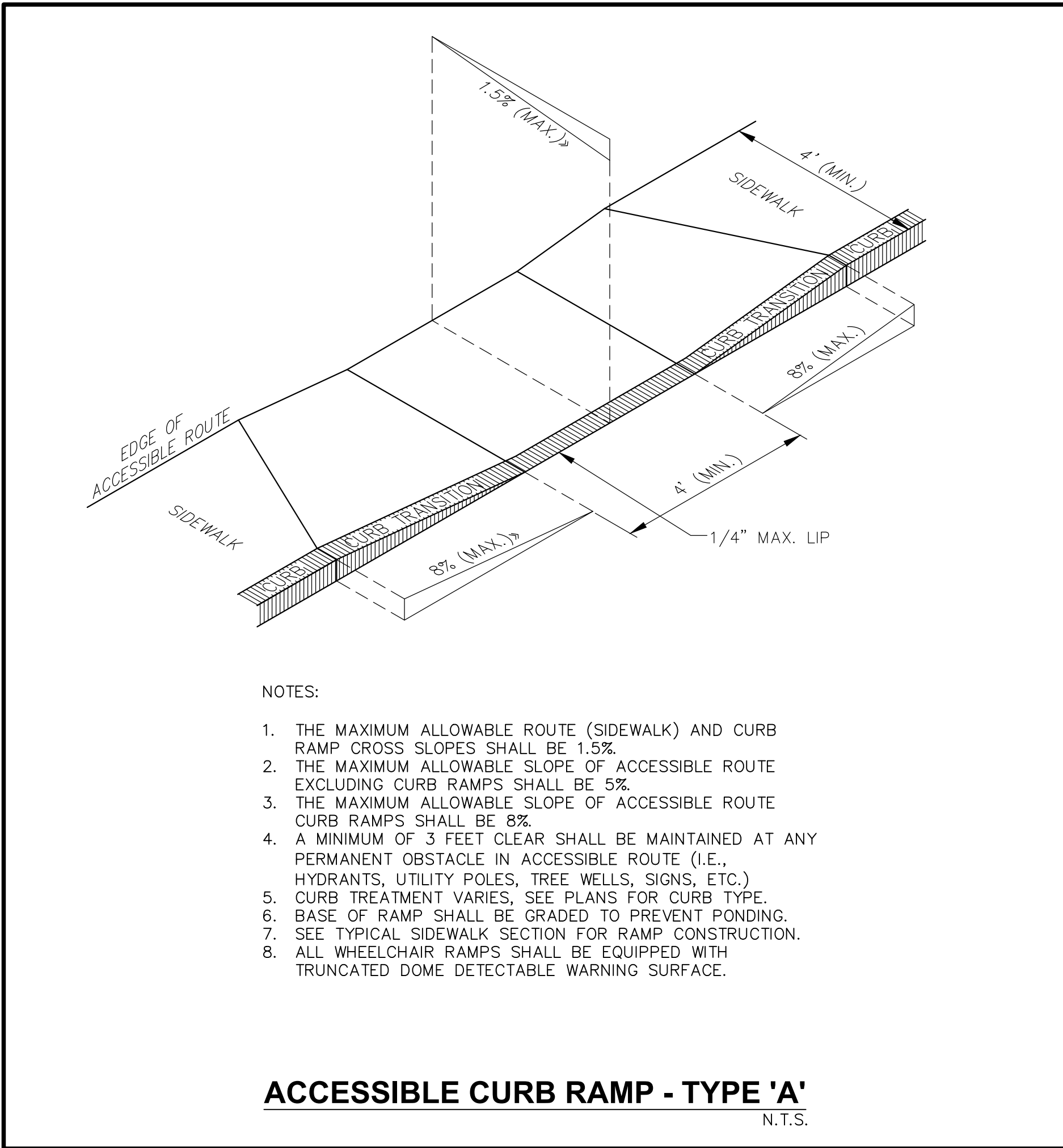
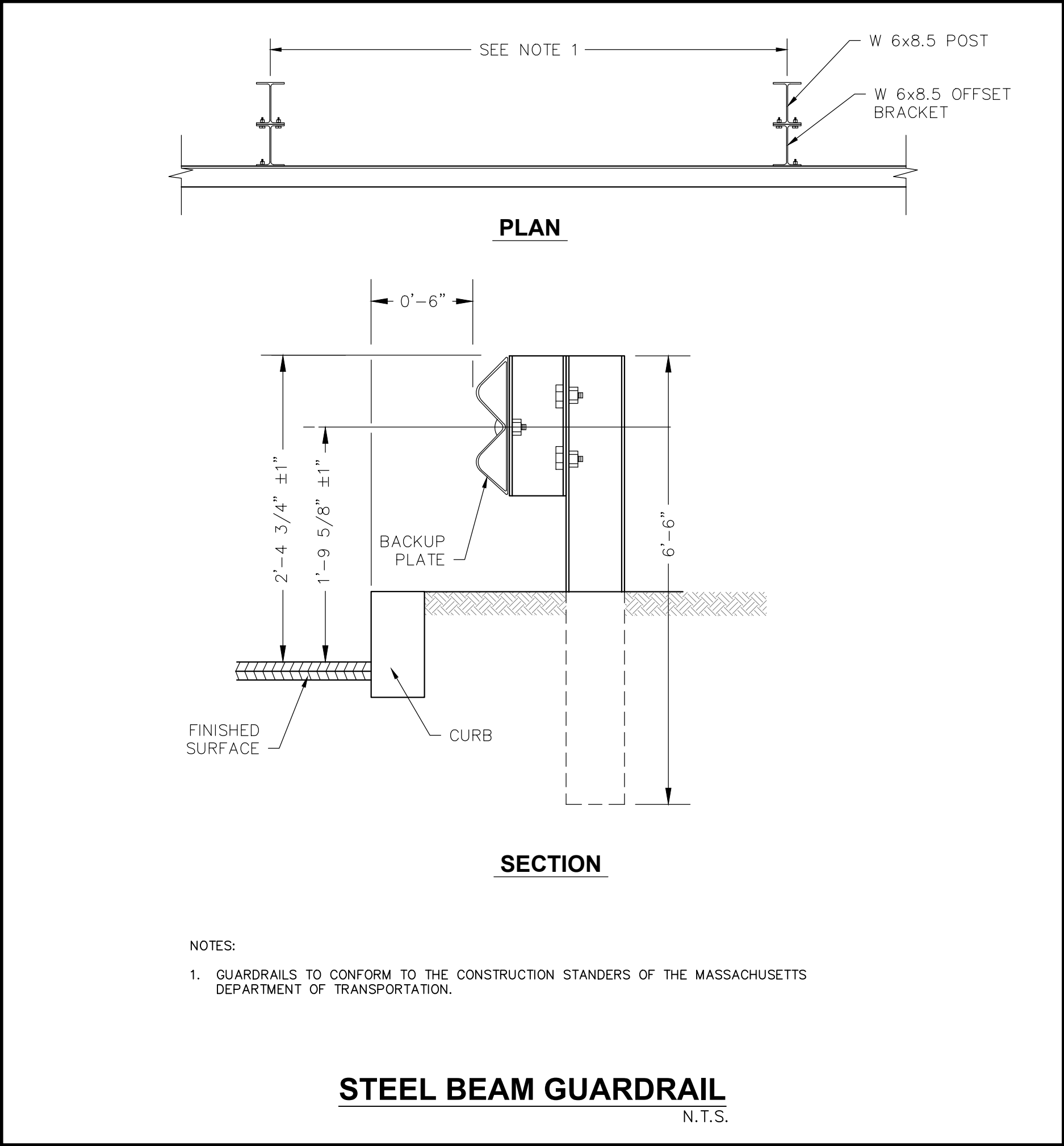
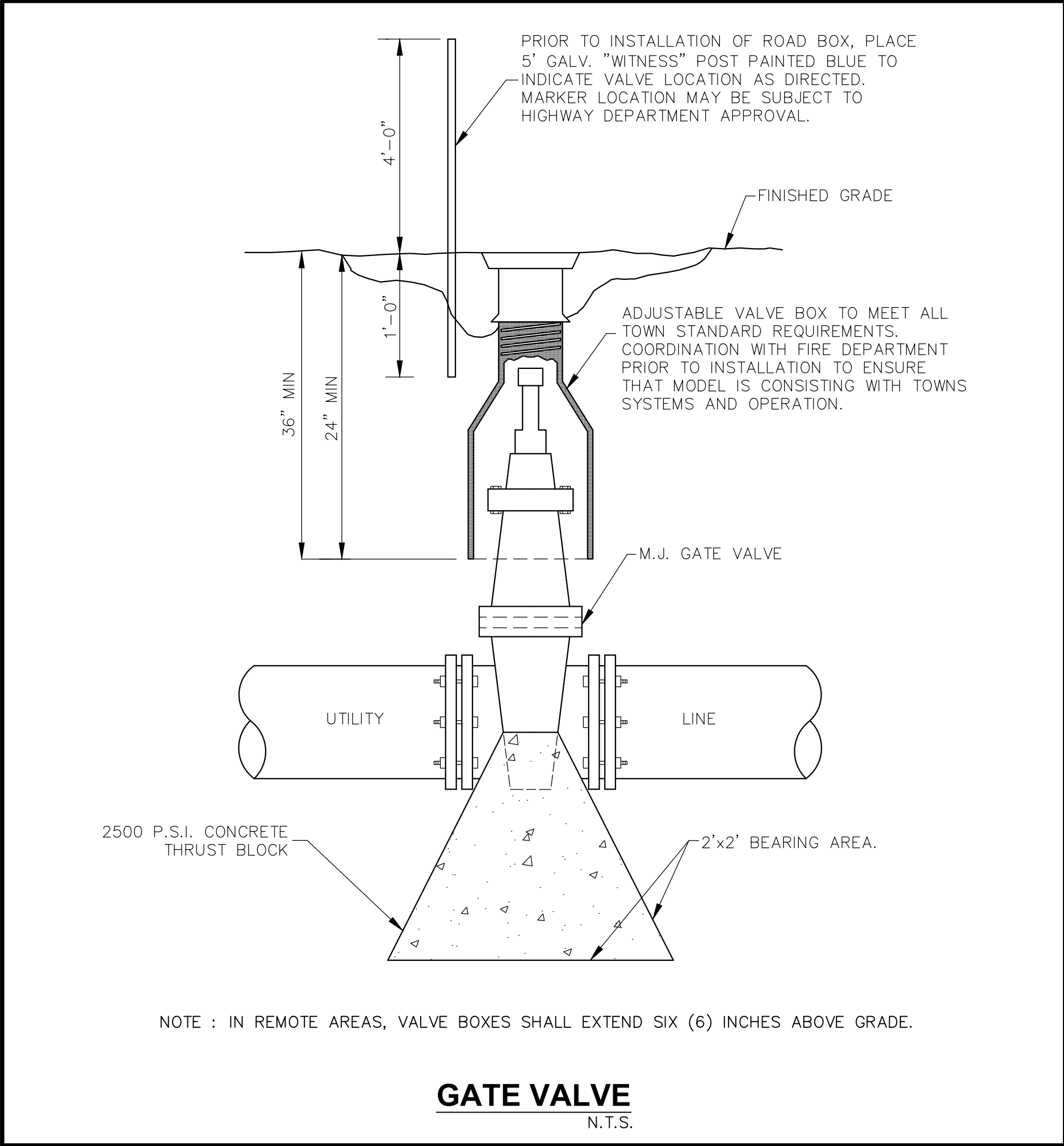
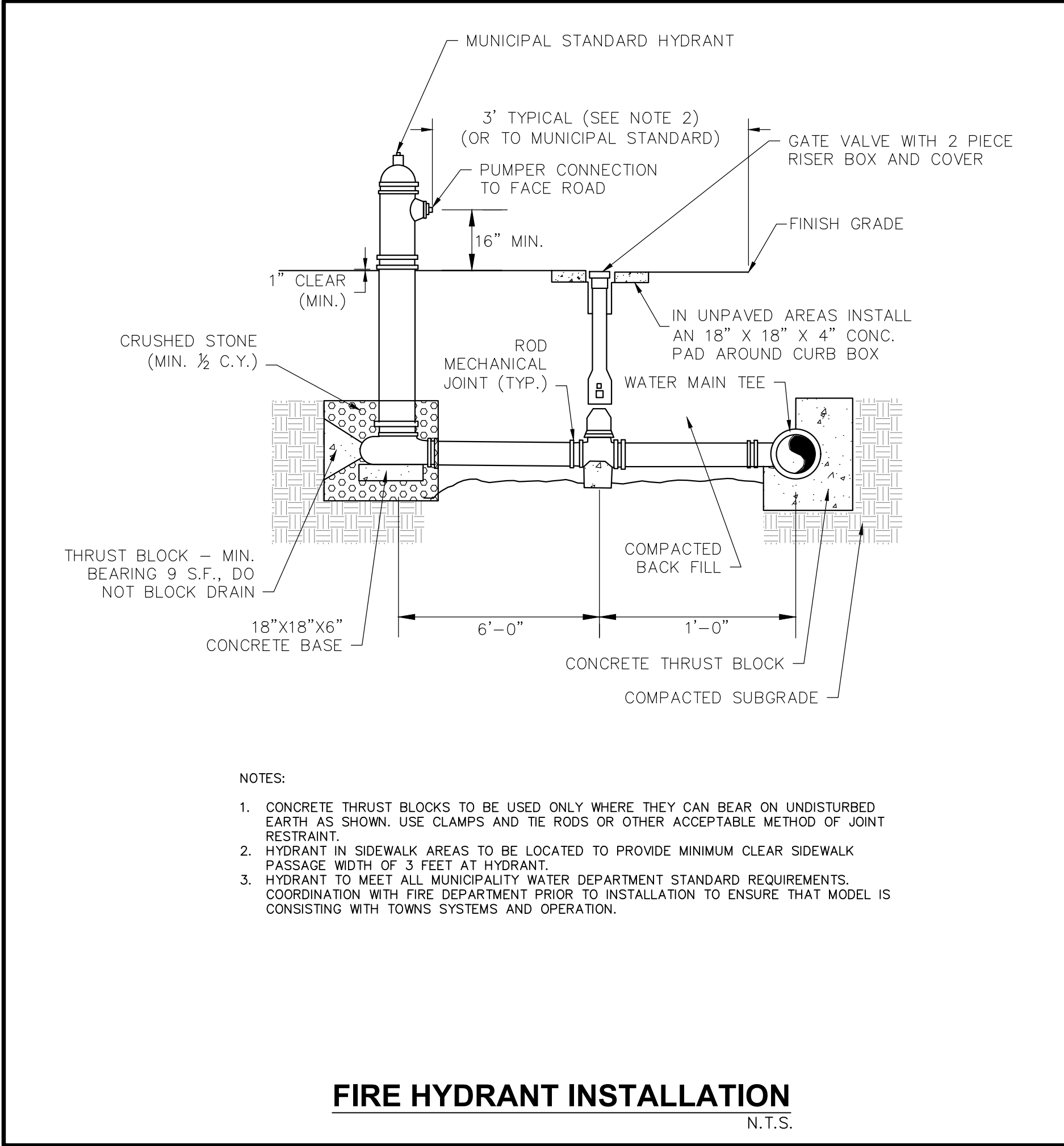
PROJECT: SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

PLAN SET: COMPREHENSIVE PERMIT PLANS

CONECO
Engineers & Scientists

4 FIRST STREET, BRIDGEWATER, MASSACHUSETTS 02324
PHONE 508-897-3191 OR 800-548-3355 FAX 508-697-5996
WEBSITE: www.coneco.com

DATE	02/14/2022
DESIGNED: MWK	CHECKED: DJD
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	N.T.S.
PROJECT NO.	3395.1
SHEET NO.	24



REVISIONS			
NO.	DATE	DESCRIPTION	DR/CK
1	9/23/2022	GRADING & DRAINAGE REDESIGN	DJD/MSD

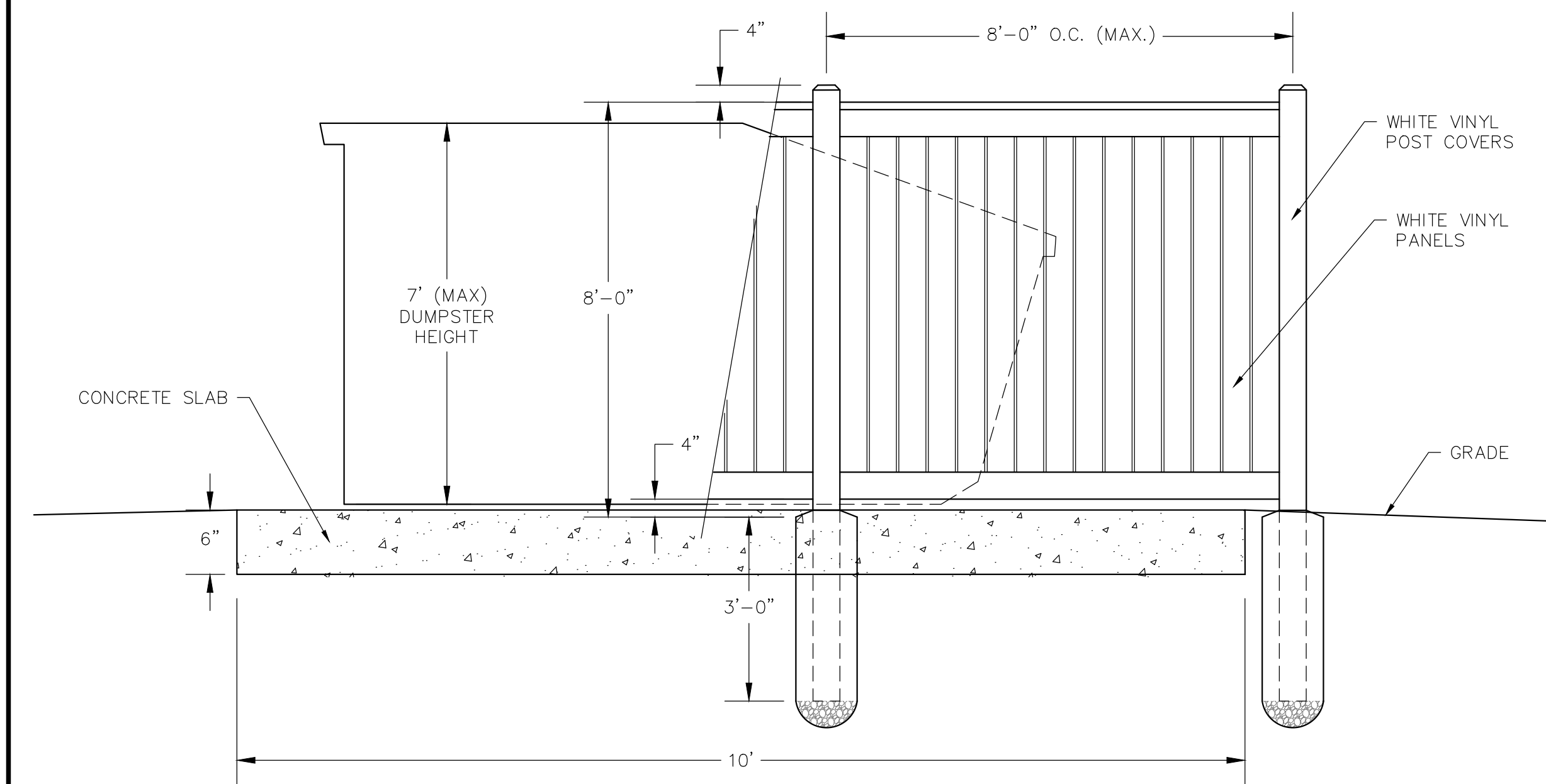
PREPARED FOR:	SHINGLEMILL, LLC 4 FIRST STREET BRIDGEWATER, MASSACHUSETTS 02324
DRAWING:	DETAILS SHEET 4 OF 7

PROJECT:	SHINGLEMILL APARTMENTS 75-79 FOND STREET ROCKLAND, MASSACHUSETTS 02370
PLAN SET:	COMPREHENSIVE PERMIT PLANS

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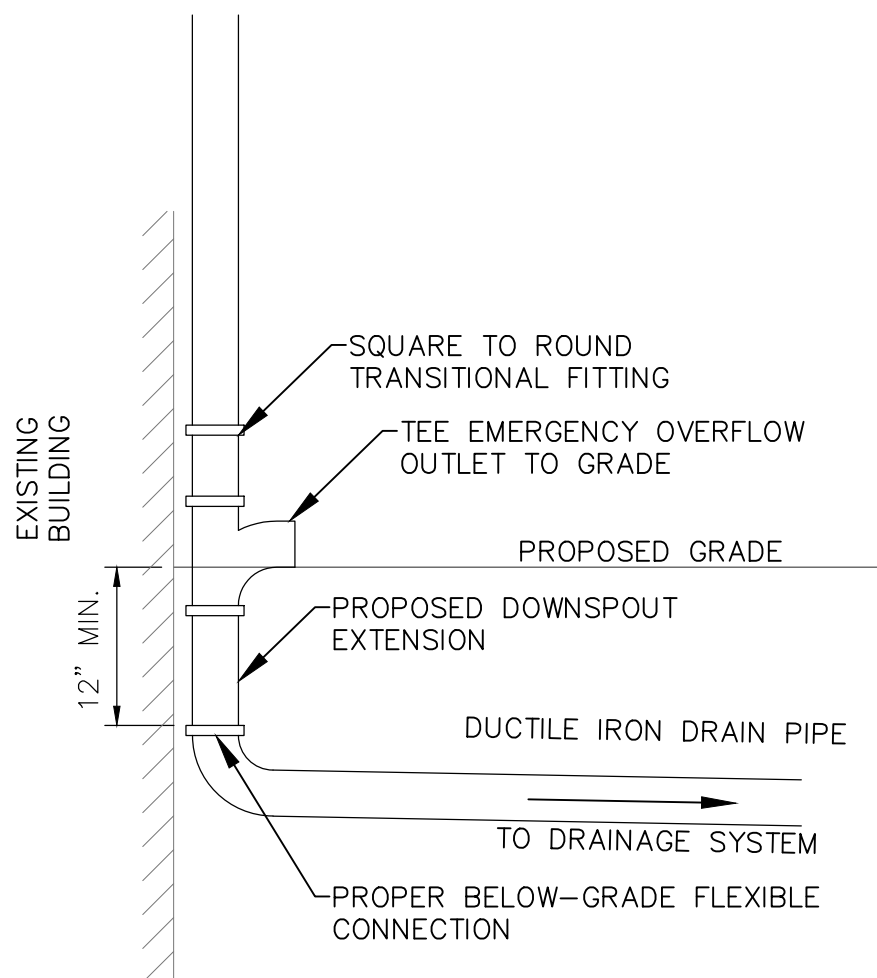
DATE	02/14/2022
DESIGNED: MWK	CHECKED: DJD
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	N.T.S.
PROJECT NO.	3395.1
SHEET NO.	



NOTES:

1. ALL WOOD TO BE NO. 1 GRADE CEDAR AND FREE OF EXCESSIVE CHIPS, CRACKS, WARPS OR KNOTS, UNLESS NOTED OTHERWISE ON DRAWING.
2. ALL FASTENERS TO BE HOT DIPPED GALVANIZED

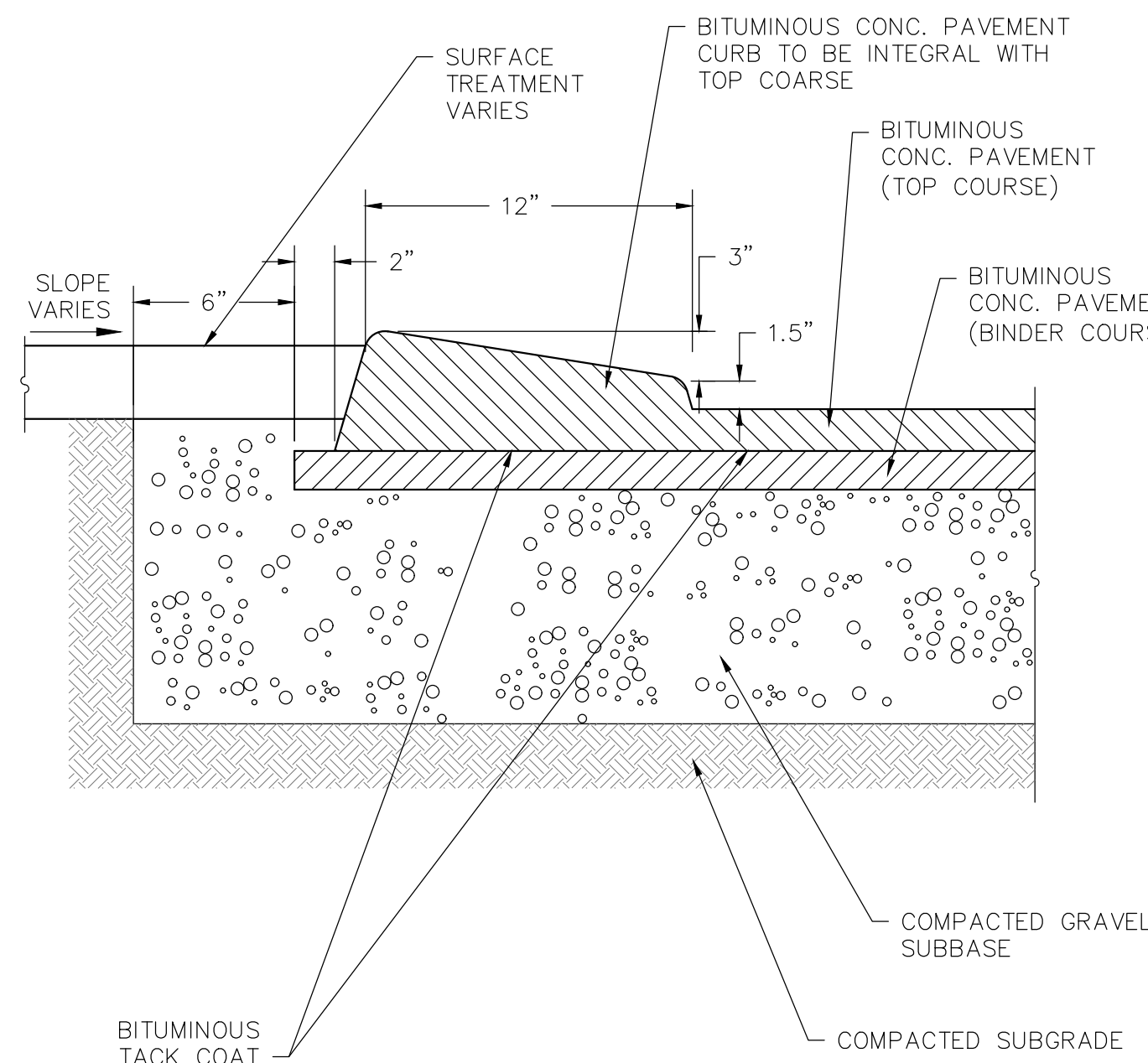
DUMPSTER ENCLOSURE
N.T.S.



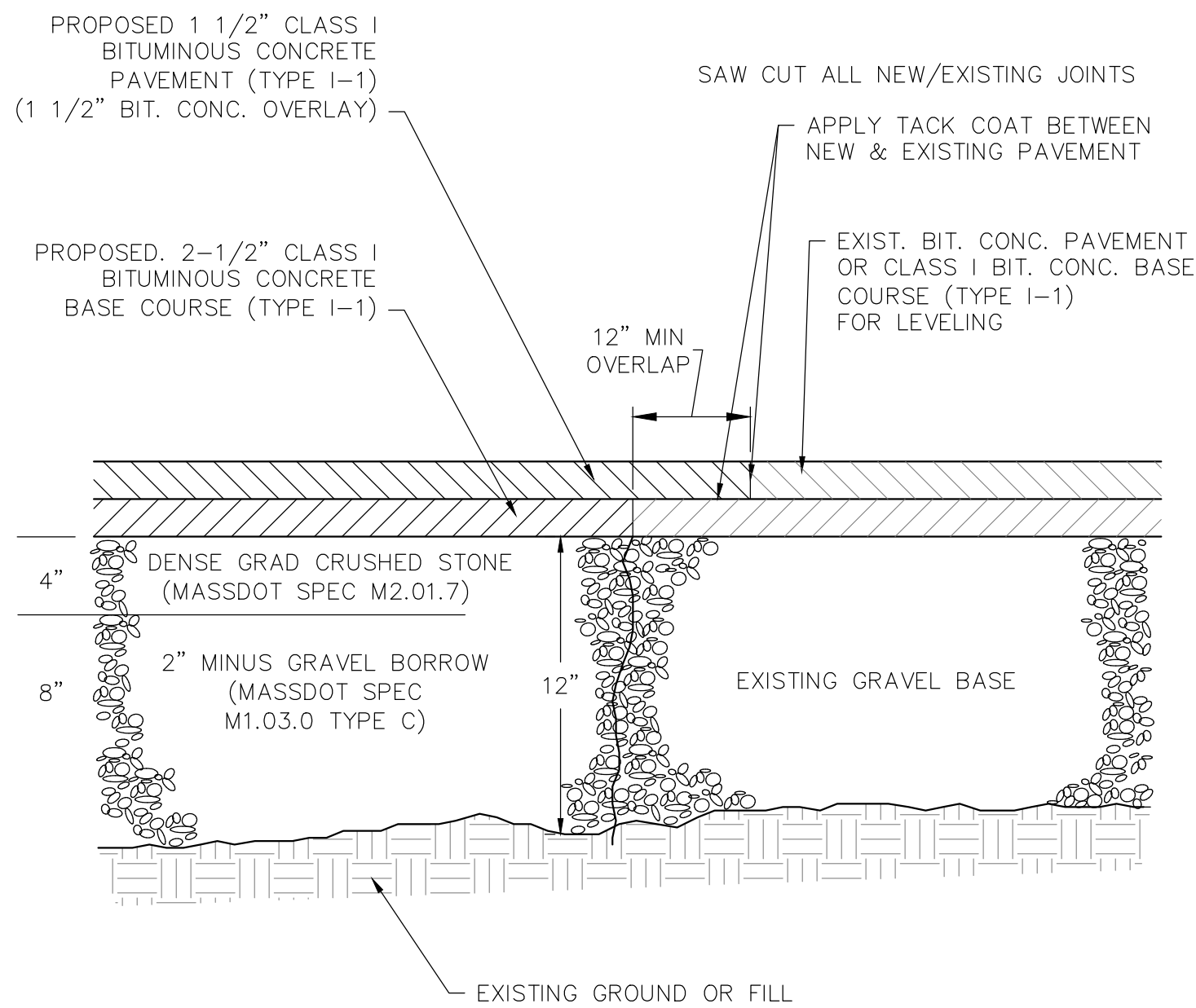
NOTES:

1. FOR INTERIOR DOWNSPOUTS: CONNECT WITHIN BUILDING AND PASS THROUGH FOUNDATION BELOW GRADE.
2. FOR EXTERIOR DOWNSPOUTS: CONNECT OUTSIDE OF BUILDING AS SHOWN.
3. EMERGENCY OUTLET TO GRADE SHALL MATCH PROPOSED DOWNSPOUT EXTENSION IN MATERIAL AND DIAMETER.
4. OVERFLOW ASSEMBLY SHALL BE PERMANENTLY SECURED TO THE BUILDING TO PREVENT SETTLEMENT OF THE ASSEMBLY.

DOWNSPOUT CONNECTION & OVERFLOW DETAIL
N.T.S.



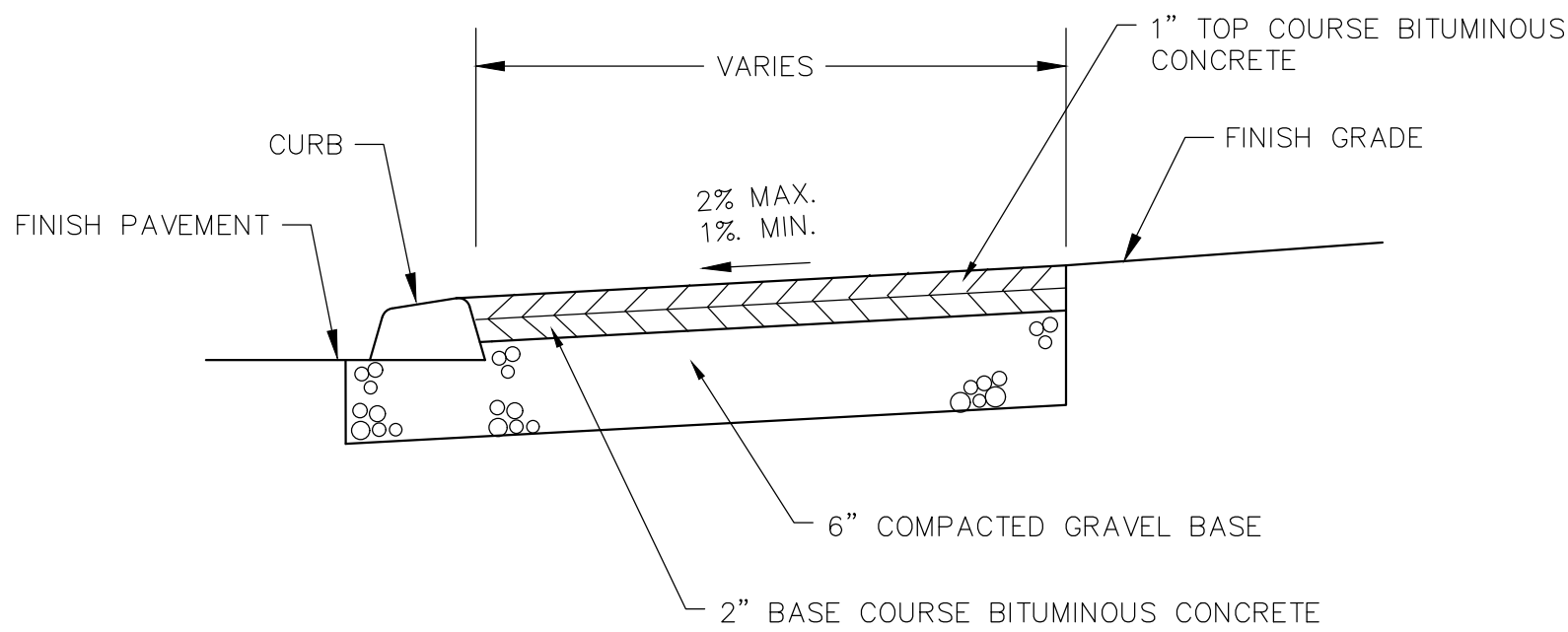
CAPE COD BERM (CCB)
N.T.S.



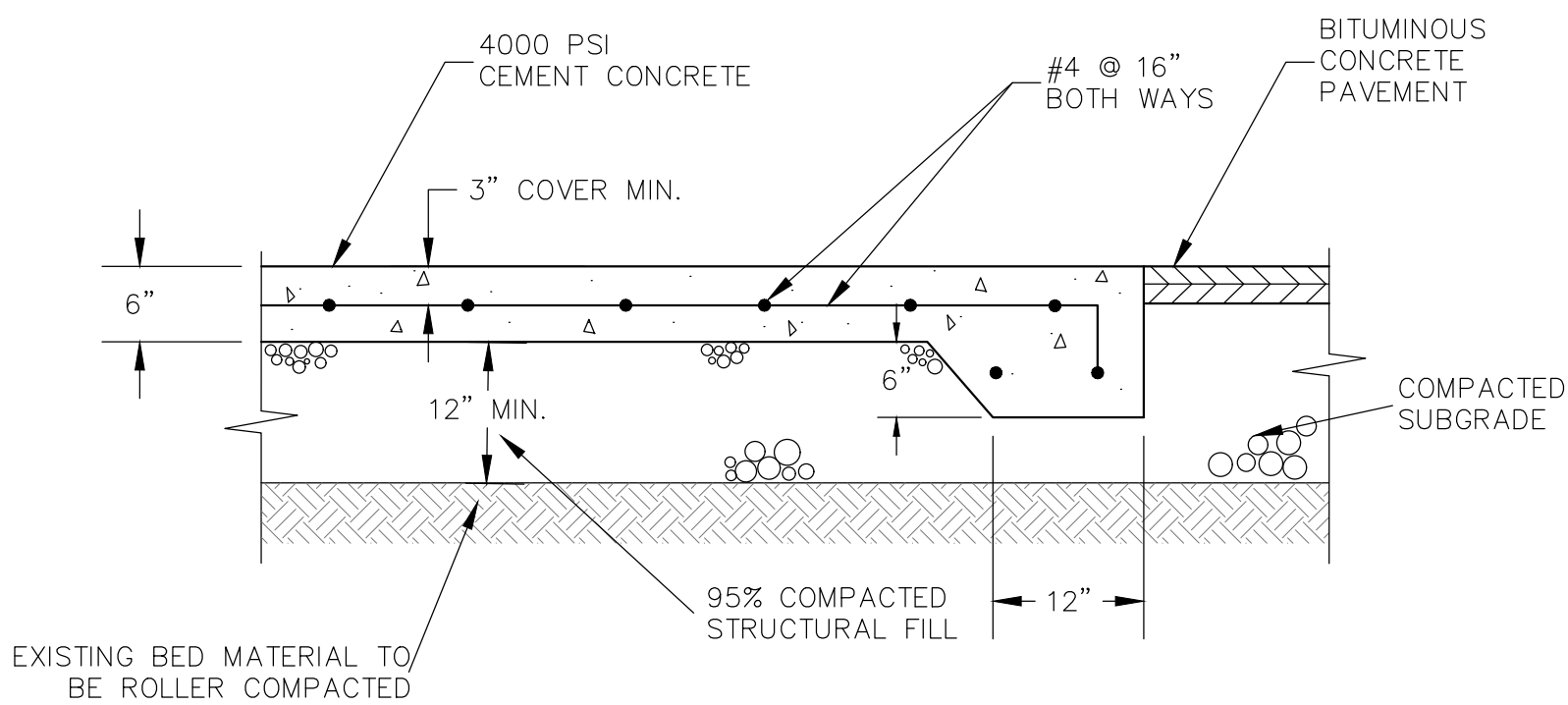
NOTES:

1. DENSE GRADED CRUSHED STONE IS PER MASS HIGHWAY STANDARD SPECIFICATION, SECTION M2.01.7.
2. GRAVEL BORROW TYPE C IS PER MASS HIGHWAY STANDARD SPECIFICATION, SECTION M1.03.0.
3. PAVEMENT THICKNESS ARE DIMENSIONS AFTER COMPACTION.
4. CRUSHED STONE AND GRAVEL BORROW SHALL BE COMPACTED IN LIFTS TO 95% PROCTOR DENSITY PRIOR TO PLACEMENT OF PAVEMENT.
5. THE BITUMINOUS CONCRETE SHALL BE HOT BITUMINOUS CONCRETE PAVEMENT PER MASSACHUSETTS STANDARD SPECIFICATIONS, CURRENT EDITION, SECTION 400.

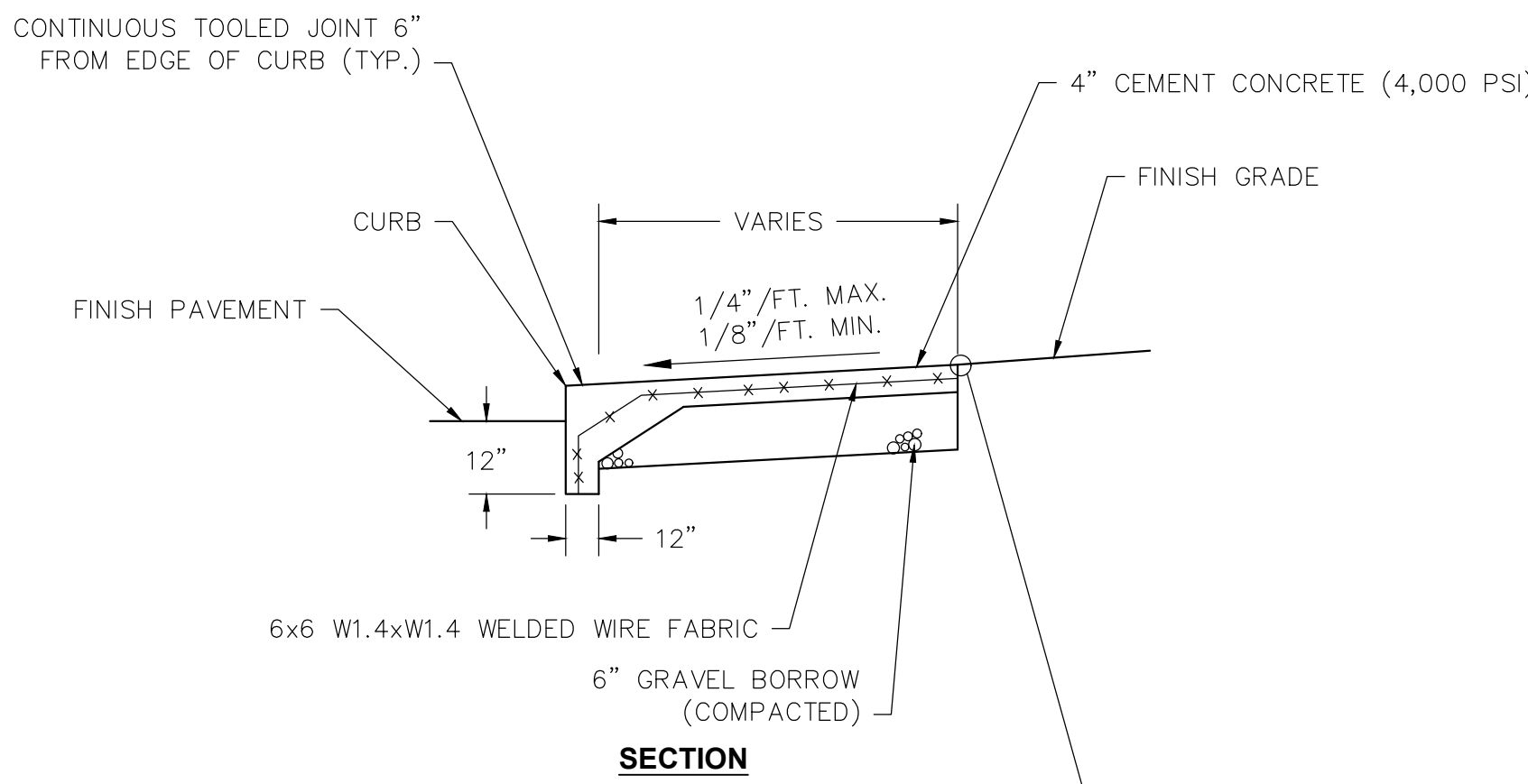
TYPICAL PAVEMENT SECTION
N.T.S.



BITUMINOUS CONCRETE SIDEWALK
N.T.S.



CONCRETE DUMPSTER AND LANDING PADS
N.T.S.

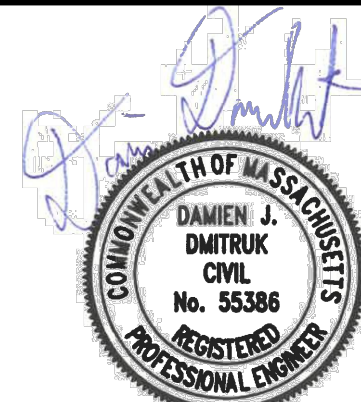


NOTES:

1. PROVIDE EXPANSION JOINTS AT MIN. 16 FT. O.C. WITH PRE- MOLDED JOINT FILLER.
2. PROVIDE TOOLED CONTROL JOINTS AT 4' O.C.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

JOINT DETAIL

MONOLITHIC CONCRETE SIDEWALK & CURB
N.T.S.



09/23/2022

NO.	DATE	DESCRIPTION	DR/CK
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PREPARED FOR:
SHINGLEMILL, LLC
4 FIRST STREET
BRIDGEWATER, MASSACHUSETTS 02324

DETAILS
SHEET 5 OF 7

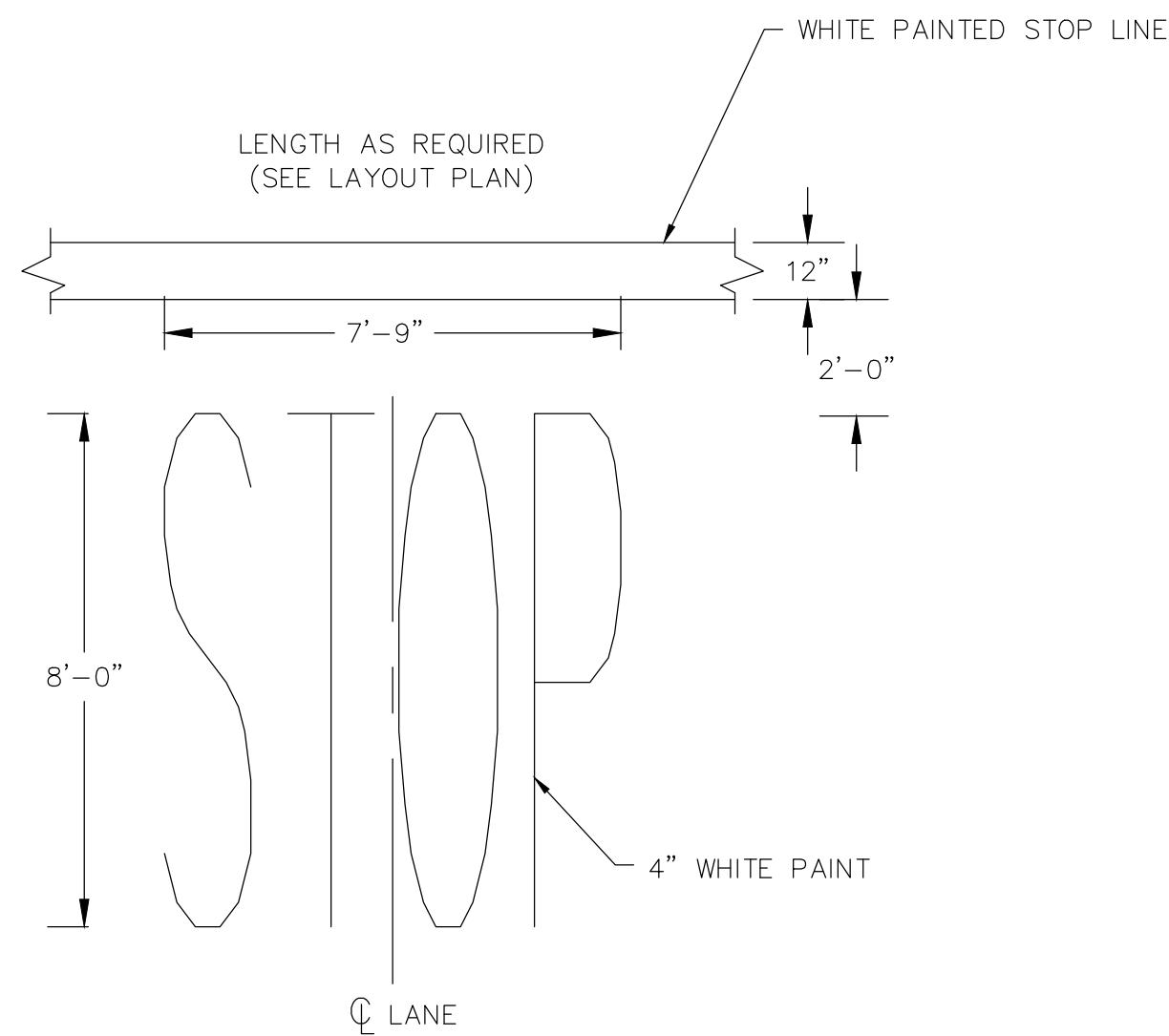
PROJECT:
SHINGLEMILL APARTMENTS
75-79 FOND STREET
ROCKLAND, MASSACHUSETTS 02370

COMPREHENSIVE PERMIT PLANS

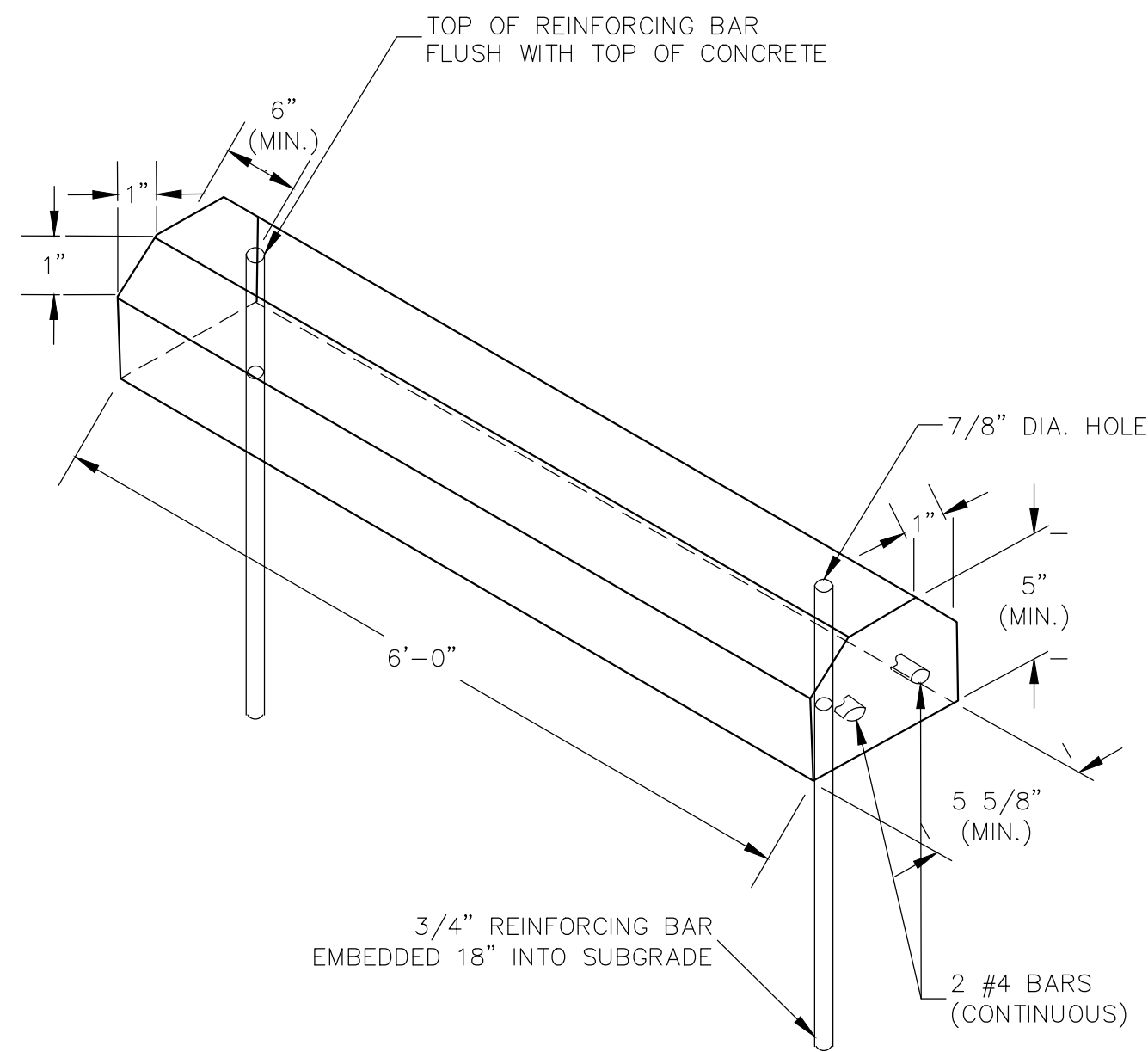


DATE	02/14/2022
DESIGNED: MWK	CHECKED: DJD
DRAFTED: MWK	IN CHARGE: DJD
SCALE:	N.T.S.
PROJECT NO.	3395.1
SHEET NO.	26

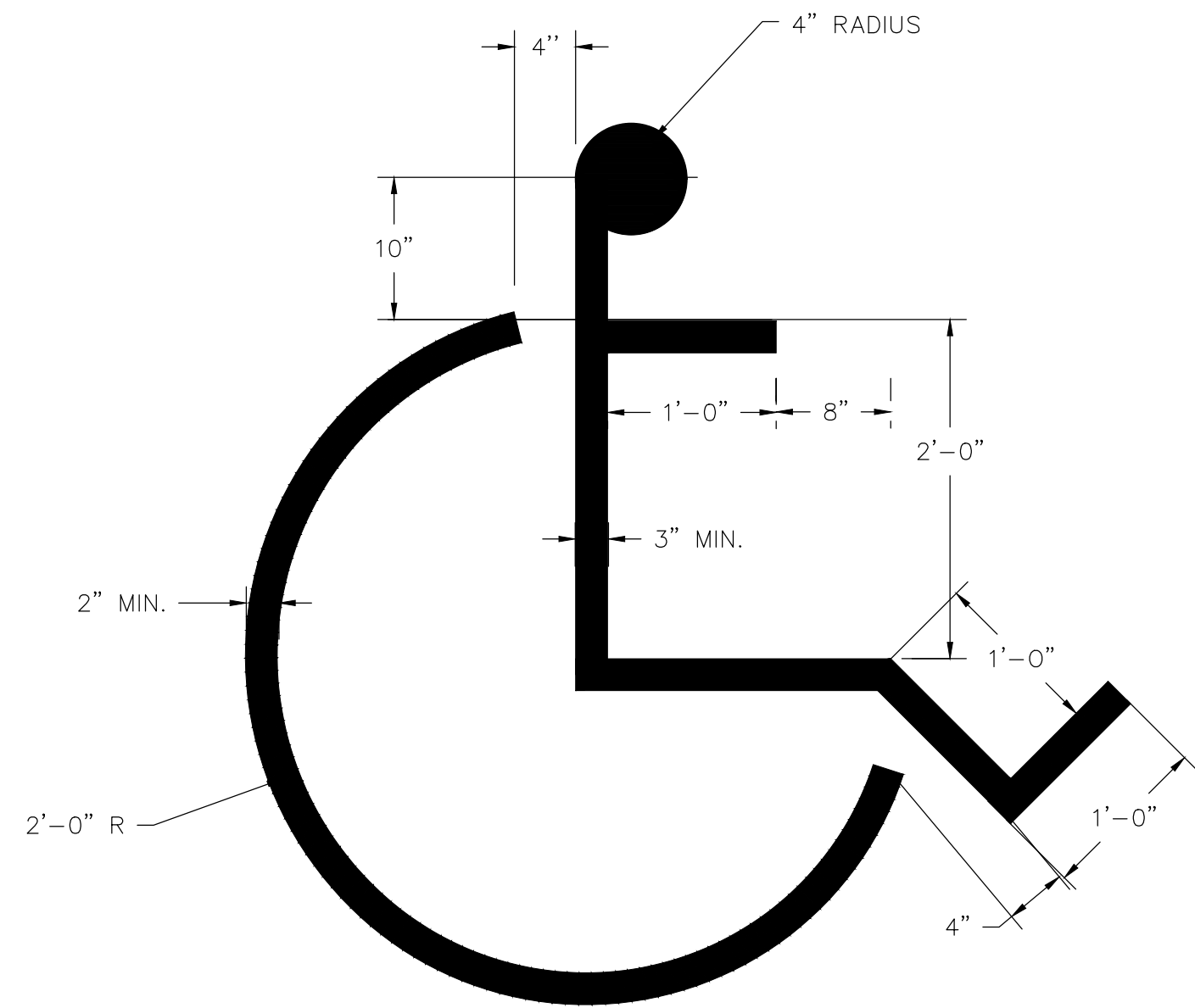
26
OF 28



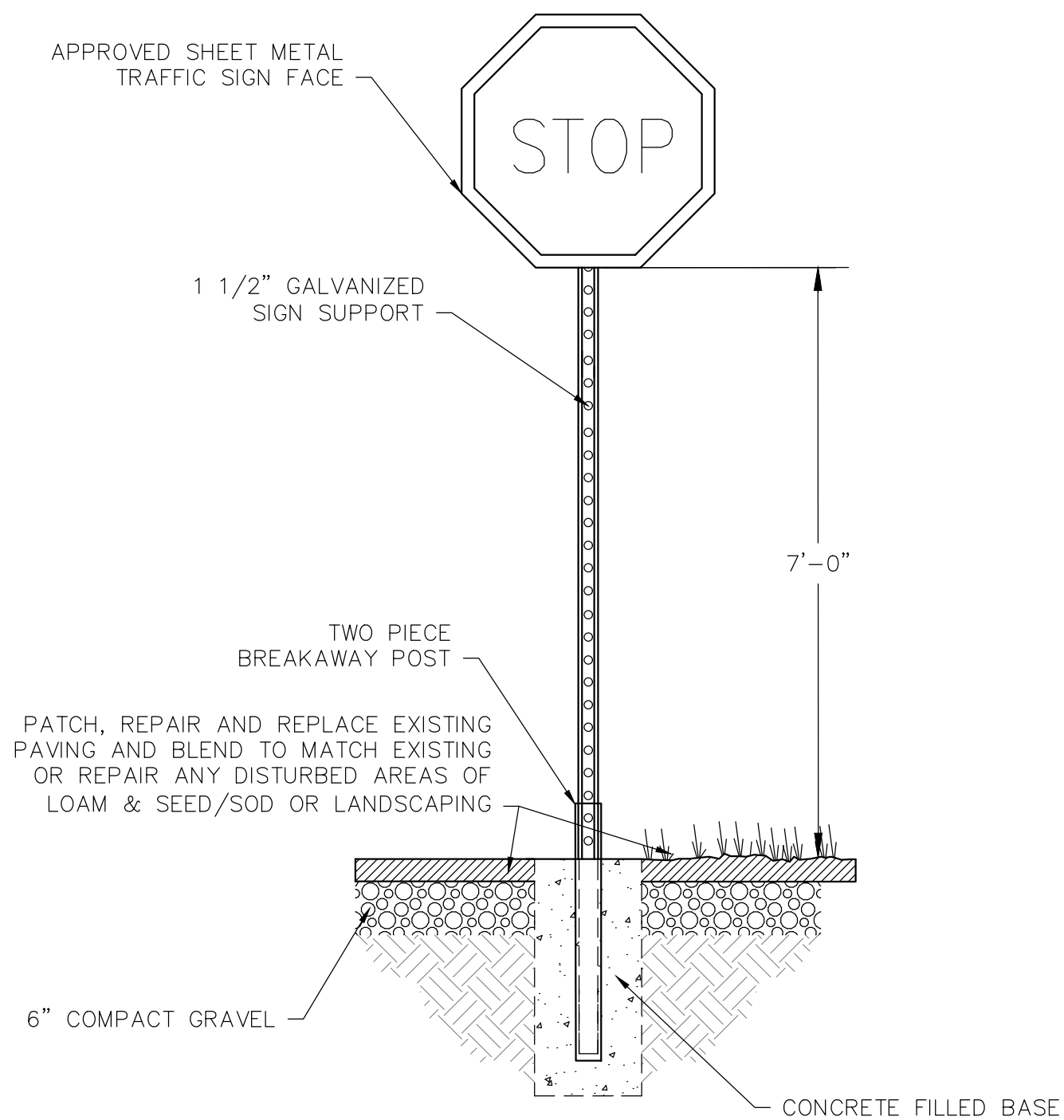
PAINTED PAVEMENT MARKINGS
N.T.S.



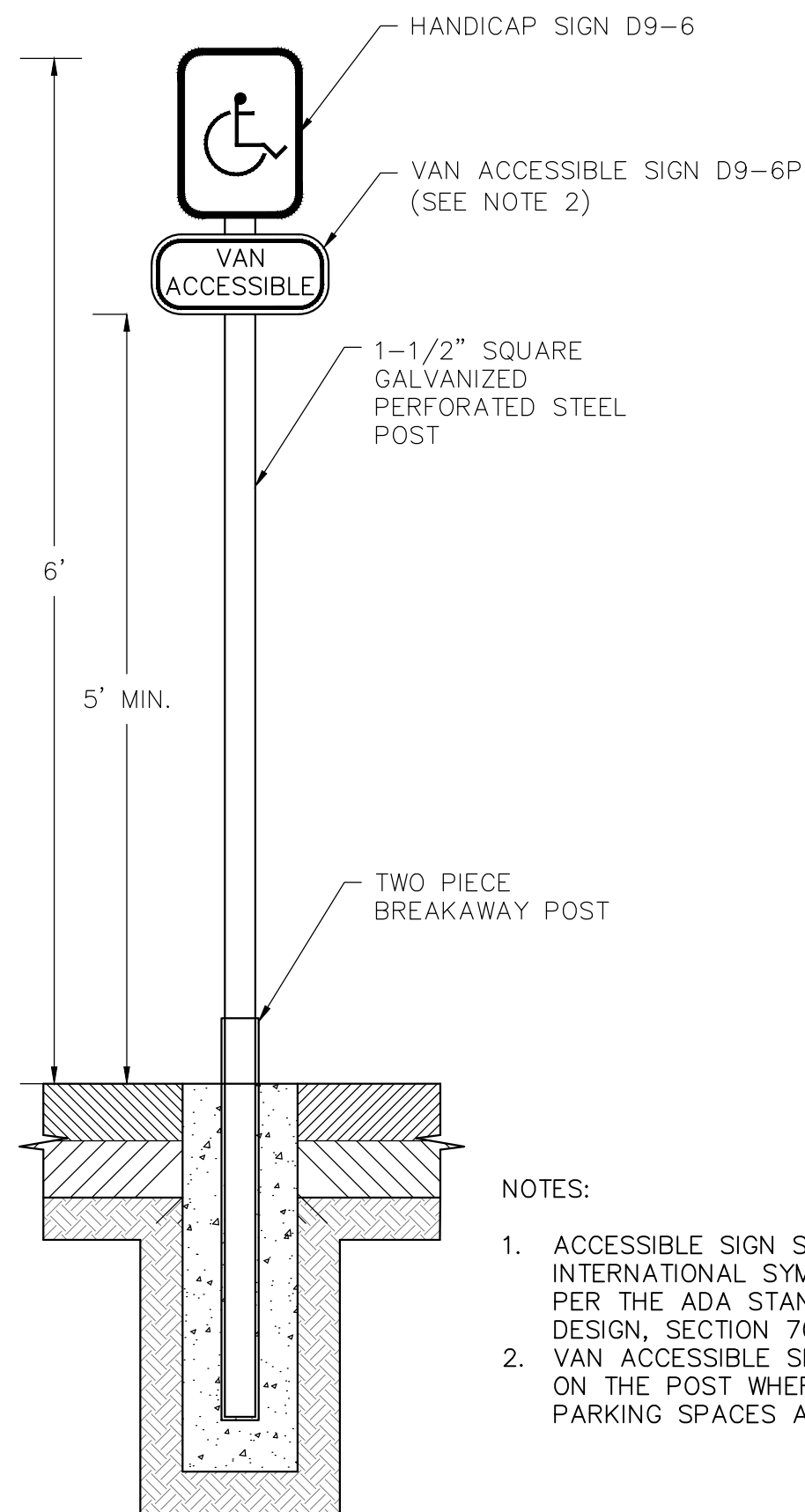
PRECAST PARKING BUMPER
N.T.S.



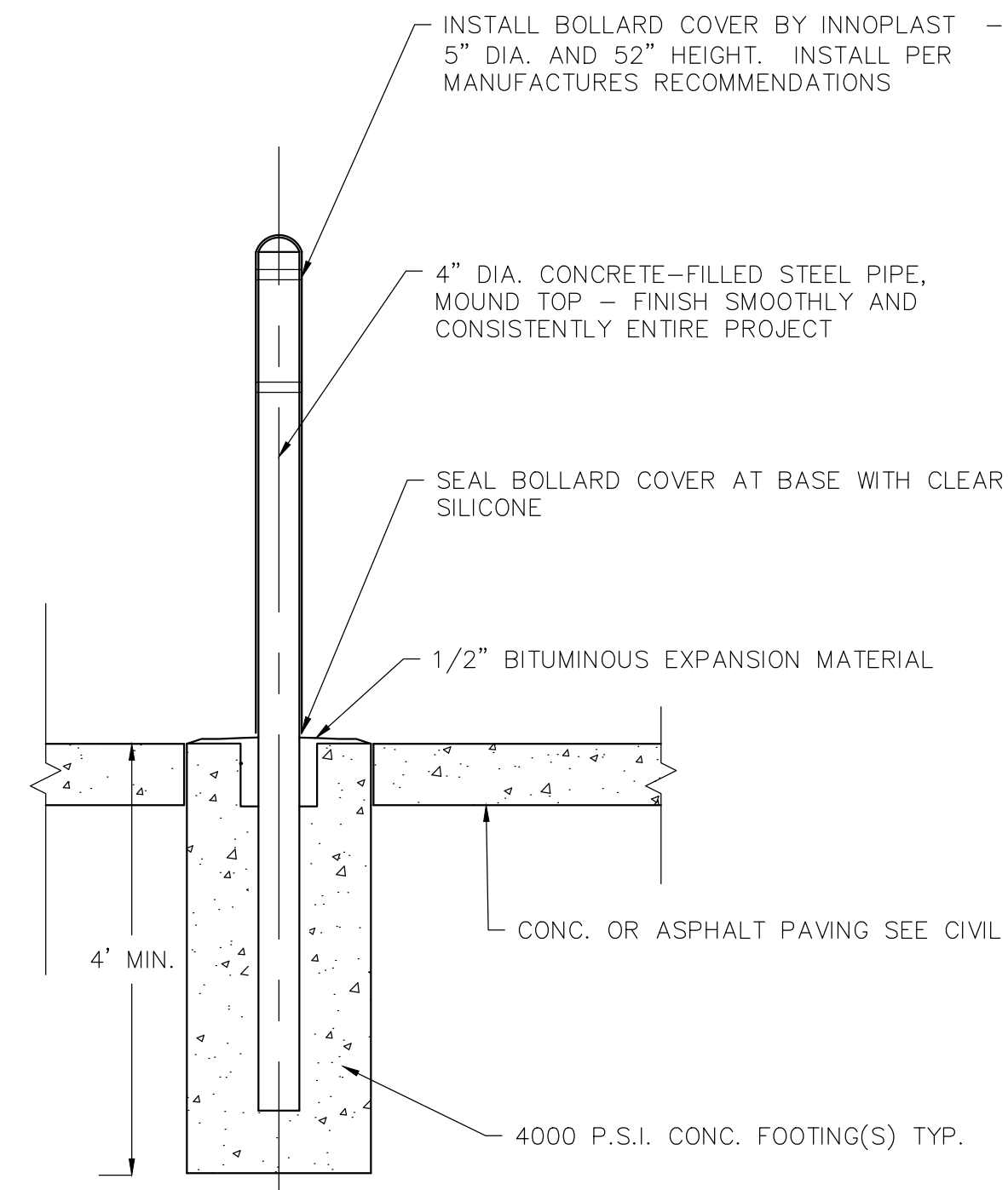
ACCESSIBLE PARKING STALL SYMBOL
N.T.S.



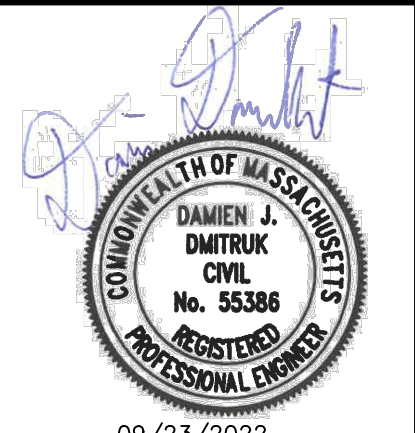
TRAFFIC CONTROL SIGN POST DETAIL (R1-1 SHOWN)
N.T.S.



ACCESSIBLE PARKING SIGN (D9-6)&(D9-6P)
N.T.S.



4" BOLLARD DETAIL
N.T.S.



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SHINGLEMILL, LLC 4 FIRST STREET BRIDGEWATER, MASSACHUSETTS 02324	DETAILS SHEET 6 OF 7
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SHINGLEMILL APARTMENTS 75-79 FOND STREET ROCKLAND, MASSACHUSETTS 02370	COMPREHENSIVE PERMIT PLANS
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SHEET NO.	27

