

PROPOSED COMMERCIAL BUILDING

AT

#1015 HINGHAM STREET

ROCKLAND, MASSACHUSETTS

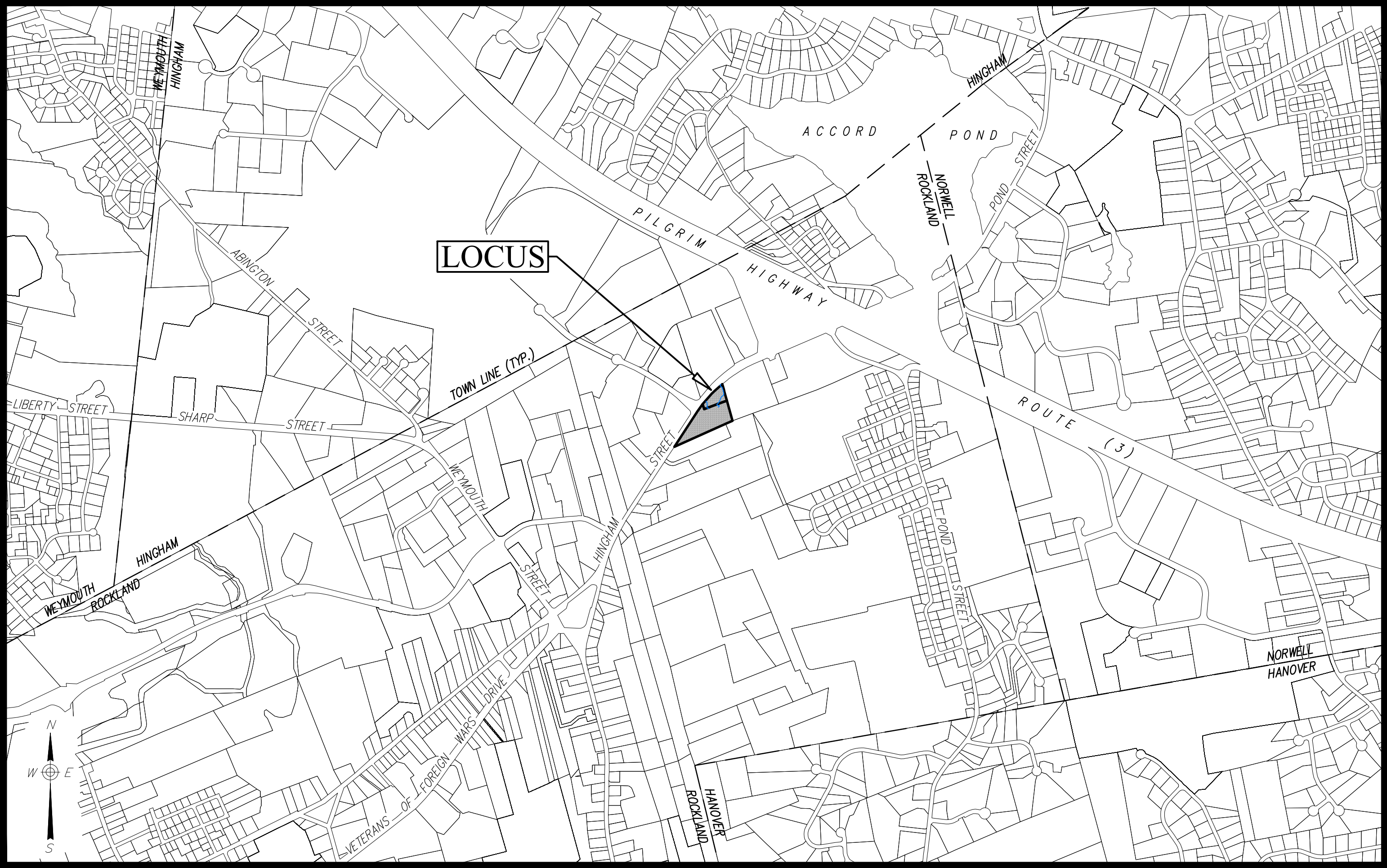
FEBRUARY 19, 2020
REVISED: MAY 7, 2020
REVISED: MAY 15, 2020
REVISED: AUGUST 18, 2020
REVISED: SEPTEMBER 30, 2020
REVISED: NOVEMBER 23, 2020
REVISED: MARCH 5, 2021
REVISED: MARCH 30, 2022

EXISTING		PROPOSED	
---100---	MINOR CONTOUR	---100---	MAJOR/MINOR CONTOUR
---99---	MAJOR CONTOUR	99x9	SPOT ELEVATION
100x1	SPOT ELEVATION	~~~~~	LIMIT OF WORK/EDGE OF CLEARING
TP10	TEST PITS	-x-x-	SILT FENCE
~~~~~	EDGE OF CLEARING	-W-	WATER SERVICE
~~~~~	WETLAND LINE	~x~	WATER GATE
△ WF A-20	WETLAND FLAG	~x~	HYDRANT
		-G-	GAS SERVICE
		-E-	ELECTRIC SERVICE
		-D-	DRAIN LINE
		⊙	DRAIN MANHOLE
		⊙	CATCH BASIN
		▽	FLARED END SECTION
		~~~~~	RIP-RAP
		~~~~~	HEADWALL/OUTLET CONTROL STRUCTURE
		~~~~~	6" WIDE VERTICAL CONCRETE CURB
		~~~~~	GUARDRAIL
		SGC	SLOPED GRANITE CURB
		ICC	INTEGRAL CONCRETE CURB

PROJECT NOTES

- LOCUS: #1015 HINGHAM STREET
ASSESSORS MAP 4 PARCEL 11

#1001 HINGHAM STREET
ASSESSORS MAP 4 PARCEL 10
- DEED REFERENCE: Bk: 46526 Pg: 22 (#1015 HINGHAM STREET)
L.C. Cert. #99868 (#1001 HINGHAM STREET)
- PLAN REFERENCE: Bk: 9 Pg: 195 (LOTS 1, 2, & 3)
- LOCUS PARTIALLY FALLS WITHIN SPECIAL FLOOD HAZARD ZONE "A" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25023C-0092-J dated 07/17/2012. ALSO REFER TO PRELIMINARY FEMA FLOOD INSURANCE RATE MAP No. 25023C-0092-L, PENDING APPROVAL.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- LOCUS FALLS WITHIN A ZONE "B" SURFACE WATER PROTECTION AREA.
- ALL OF THE EXISTING SITE CONDITIONS, EXCEPT FOR THE WETLAND LINES, DEPICTED IN THIS PLAN SET WERE TAKEN FROM A PLAN ENTITLED "#1015 HINGHAM STREET EXISTING CONDITIONS PLAN IN ROCKLAND, MA", PREPARED BY PRECISION LAND SURVEYING, INC. AND DATED JULY 18, 2016.
- THE WETLAND AREAS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS IN JANUARY 2020.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
- THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
- THE ROCKLAND WATER DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY WORK ON THE WATER SYSTEM.
- THE ROCKLAND SEWER DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY WORK ON THE SEWER SYSTEM.
- PROJECT ELEVATIONS ARE BASED ON NAVD88 VERTICAL DATUM.



LOCUS MAP

Scale : 1" = 1,000'

OWNERS:

#1015 HINGHAM STREET
1099 HINGHAM ST REALTY TRUST
c/o JUMBO CAPITAL MANAGEMENT, LLC, trustee
1900 CROWN COLONY DRIVE, SUITE 405
QUINCY, MA 02169

#1001 HINGHAM STREET
1001 HINGHAM STREET, LLC
c/o RADER PROPERTIES, INC.
80 WASHINGTON STREET, J-40
NORWELL, MA 02061

APPLICANT:

ROCKLAND OLD EXIT 14, INC.
1015 HINGHAM STREET
ROCKLAND, MA 02370

CIVIL ENGINEER / LAND SURVEYOR:

BRACKEN
ENGINEERING, INC.
49 HERRING POND ROAD BUZZARDS BAY, MA 02532 19 OLD SOUTH ROAD NANTUCKET, MA 02554
(Tel) 508.833.0070 (Tel) 508.325.0044
(Fax) 508.833.2282 www.brackeneng.com

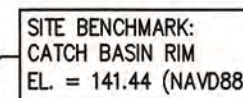
ARCHITECT:

ROTH & SELEN, INC.
ARCHITECTURE, INTERIOR DESIGN, PLANNING
50 SOUTH STREET
HINGHAM, MA 02043

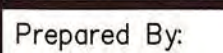
PAGE	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	LAYOUT & LANDSCAPING
4	GRADING, DRAINAGE & UTILITIES
5	CONSTRUCTION DETAILS
6	CONSTRUCTION DETAILS

DATE: DECEMBER 24, 2019
SOIL EVALUATOR: ROBERT DEWAR, S.E.

#1022 & #1030 HINGHAM STREET
MAP 4 PARCEL 6
N/F
AMR R. E. HOLDINGS-ROCKLAND, LLC



1. LOCUS: #1015 HINGHAM STREET
MAP 4 PARCEL 11
2. DEED REFERENCE: Bk: 46526 Pg: 22
3. PLAN REFERENCE: Bk: 9 Pg: 195
(LOTS 1, 2, & 3)
4. LOCUS PARTIALLY FALLS WITHIN SPECIAL
FLOOD HAZARD ZONE "A" AS SHOWN ON FEMA
FLOOD INSURANCE RATE MAP NO.
25023C-0092-J dated 07/17/2012. ALSO
REFER TO PRELIMINARY FEMA FLOOD
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5. LOCUS DOES NOT FALL WITHIN THE NATURAL
HERITAGE AND ENDANGERED SPECIES PROGRAM
(NHESP) AREAS OF ESTIMATED HABITATS OF
RARE WILDLIFE AND PRIORITY HABITATS OF
RARE SPECIES.
6. LOCUS FALLS WITHIN A ZONE "B" SURFACE
WATER PROTECTION AREA.
7. ALL OF THE EXISTING SITE CONDITIONS,
EXCEPT FOR THE WETLAND LINES, DEPICTED IN
THIS PLAN SET WERE TAKEN FROM A PLAN
ENTITLED "#1015 HINGHAM STREET EXISTING
CONDITIONS PLAN IN ROCKLAND, MA",
PREPARED BY PRECISION LAND SURVEYING,
INC. AND DATED JULY 18, 2016.
8. THE WETLAND AREAS WERE DELINEATED BY
LEC ENVIRONMENTAL CONSULTANTS IN
JANUARY 2020.
9. PROJECT ELEVATIONS ARE BASED ON NAVD88
VERTICAL DATUM.



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Sheet Title:

Project: **PROPOSED COMMERCIAL BUILDING
IN ROCKLAND, MASSACHUSETTS**

PREPARED FOR:
ROCKLAND OLD EXIT 14, INC.
 #1015 HINGHAM STREET
 MAP 4 PARCEL 11

6	3/30/22	UPDATE WITH NEW APPLICANT	RMM
5	3/5/21	ADD FENCE	RMM
4	11/23/20	MISC. REVISIONS	RMM
3	9/30/20	ISSUED FOR BID/PRICING	RMM
2	8/18/20	UPDATE FLOOD ZONE	RMM
1	5/15/20	EXISTING CONDITIONS SHEET ADDED	RMM
No.	Date	Revision Description	By

Date:	Drawn:	Checked:	Sheet:
FEBRUARY 19, 2020	RMM/ERC/BEI	DFB/AMG	2 of 6

ZONING SUMMARY			
ZONE: INDUSTRIAL PARK - HOTEL (H-1) & WATERSHED PROTECTION DISTRICT			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	-	37,017± s.f.	NO CHANGE
MINIMUM LOT FRONTAGE	110'	315.36'	NO CHANGE
MINIMUM LOT WIDTH	110'	316.84'	NO CHANGE
MINIMUM FRONT SETBACK	50'	N/A	61.1'
MINIMUM SIDE SETBACK	30'	N/A	15.0'*
MINIMUM REAR SETBACK	30'	N/A	27.6'*
MAX. BUILDING COVERAGE	50%	N/A	13.5%
MAX. BUILDING HEIGHT	36'	N/A	<36'

*VARIANCE REQUIRED

PARKING SUMMARY	
DESCRIPTION	REQUIRED
1,866 s.f. (RETAIL) AT 1 SPACE/300 s.f. OF SALES FLOOR AREA	= 6.2 SPACES
320 S.F. (OFFICE) AT 1 SPACE/250 S.F. OF OFFICE *	= 1.3 SPACES
14 EMPLOYEES AT 1 SPACE PER 2 EMPLOYEES	= 7 SPACES
TOTAL PARKING REQUIRED	= 15 SPACES
TOTAL PARKING PROVIDED **	= 23 SPACES
OFF-STREET LOADING REQUIRED AT 1 SPACE (5K s.f.-20K s.f.)	= 1 SPACE
OFF-STREET LOADING PROVIDED	= 1 SPACE
ACCESSIBLE PARKING SPACES AT 1 SPACE FOR 15-25 TOTAL PARKING	= 1 SPACE
VAN ACCESSIBLE SPACES AT MINIMUM OF 1 PER 6 ACCESSIBLE SPACES	= 1 SPACE

*INCLUDES SECURITY ROOM AND CONSULTATION ROOM.

**TWO PARKING SPACES ARE TO BE USED FOR SNOW STORAGE AREAS WHEN NEEDED.

WAIVER REQUESTS:

1. R&R §III.C.2.e.1 FOR USE OF HIGH DENSITY POLYETHYLENE (HDPE) PIPE.

2. R&R §III.C.2.f.1 FOR USE OF SUBSURFACE INFILTRATION SYSTEMS FOR STORMWATER MITIGATION.

#1022 & #1030 HINGHAM STREET
MAP 4 PARCEL 6
N/F
AMR R. E. HOLDINGS-ROCKLAND, LLC

(COUNTY LAYOUT)

PROPOSED SEGMENTAL TYPE RETAINING WALL WITH VEHICULAR AND PEDESTRIAN GUARD RAILS (SEE DETAIL ON SHEET 6)

PROPOSED CONCRETE GRAVITY TYPE RETAINING WALL (SEE DETAIL ON SHEET 6)

PROPOSED COMMERCIAL BUILDING
5,008 s.f. RETAIL
SLAB = 145.6

HANDICAP PARKING SIGN IN CURB
CURB STOP (TYP.)

#1001 HINGHAM STREET
MAP 4 PARCEL 10
N/F
1001 HINGHAM STREET, LLC

PLANT SCHEDULE						
SYMB.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS	SPACING	QUANTITY
SHRUBS						
AC	Amelanchier canadensis	Shadbush	6'-7' HT.	B & B	PLANT 4' o.c.	6
CA	Celastrus alnifolia	Sweet Pepperbush	18"-24" HT.	3 GAL.	PLANT 4' o.c.	7
CS	Cornus sericea (stolonifera)	Red Twig Dogwood	18"-24" HT.	3 GAL.	PLANT 5' o.c.	23
JH	Juniperus horizontalis	Ground Juniper	18"-24" SPR.	3 GAL.	PLANT 4' o.c.	7
MD	Microbiota decussata	Siberian Carpet Cypress	18"-24" SPR.	3 GAL.	PLANT 5' o.c.	22
VPTS	Viburnum plicatum tomentosum 'Shasta'	Shasta Doublefile Viburnum	30"-36" HT.	5 GAL. OR B & B	PLANT 4' o.c.	4
VC	Vaccinium corymbosum	Highbush Blueberry	18"-24" HT.	3 GAL.	PLANT 5' o.c.	22
MP	Myrica pensylvanica	Bayberry	18"-24" HT.	3 GAL.	PLANT 4' o.c.	12
SHADE & ORNAMENTAL TREES						
AR	Acer rubrum	Red Maple	3" Cal.	B & B	AS SHOWN	2
PCC	Pyrus calleryana 'Chanticleer'	Cleveland Select Callery Pear	3" Cal.	B & B	AS SHOWN	6
ORNAMENTAL GRASSES & PERENNIALS						
HHR	Heimerocallis 'Happy Returns'	Happy Returns Daylily	18" HT.	1 GAL.	plant 12" o.c.	105

NE WETMIX (WETLAND SEED MIX) - SPREAD AT A RATE OF 1 POUND PER 2800 S.F. ALONG THE BOTTOM AND SIDES OF WET SWALE.
NE WETMIX SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC., 820 WEST STREET AMHERST, MA

Landscaping Notes

- A ONE TIME APPLICATION OF 1-2" OF CLEAN LEAF COMPOST MULCH MAY BE APPLIED TO THE DRIP LINE OF THE INSTALLED SHRUBS AND TREES.
- PLANTING IS RECOMMENDED IN THE FALL OR SPRING PLANTING SEASON.
- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF REMEDIATED TOPSOIL TO 1 PART OF DEHYDRATED COW MANURE.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS SHOWN ON GRADING PLAN) TO REMOVE TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS.
- ALL TREES, SHRUBS AND SOD SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER ACCEPTANCE.

Soil Remediation Notes

- ALL SOLID WASTE AND MAN-MADE MATERIALS ENCOUNTERED DURING REQUIRED CONSTRUCTION ACTIVITY SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
- EXISTING TOPSOIL WILL NOT BE RE-USED ON-SITE.
- TOPSOIL FOR THE SITE SHALL BE ACQUIRED FROM AGRESOURCE INC. OR SOUTH SHORE LANDSCAPE SUPPLY. APPROXIMATELY 4-6" OF CLEAN TOPSOIL SHALL BE PLACED AS NEEDED IN AREAS OF PROPOSED LANDSCAPING ALONG THE PERIMETER OF THE SITE. A LOAMY SAND OR SANDY LOAM TOPSOIL IS RECOMMENDED WITH A ORGANIC MATTER CONTENT OF APPROXIMATELY 10% LEAF COMPOST SHALL BE MIXED WITH THE SOIL TO ACHIEVE DESIRED ORGANIC MATTER CONTENT.
- LARGE FRACTION MATERIAL (E.G. GRAVEL, COBBLE, STONES) WITHIN THE SOIL SHALL NOT EXCEED 10%. THE SOIL SHALL BE VISUALLY INSPECTED BY THE LANDSCAPE ARCHITECT, WETLAND SCIENTIST OR PROJECT ENGINEER BEFORE PLACEMENT IN THE PLANTING AREAS TO ENSURE IT HAS BEEN PROPERLY SCREENED AND VISUALLY CONTAINS ADEQUATE ORGANIC MATTER. SOIL PH SHALL BE APPROXIMATELY 6.2-7.0.

Organic Lawn Maintenance Notes

- INORGANIC COMMERCIAL FERTILIZERS SHALL NOT BE USED ON-SITE. ORGANIC COMPOST MAY BE ALTERNATIVELY USED INSTEAD OF FERTILIZER, WITH AN ANNUAL APPLICATION OF 1/4"-1/2" AS "TOP DRESSING" FOLLOWING AERATION OF SOIL. NO PESTICIDES WILL BE USED TO CARE FOR LAWN AREAS.
- ONLY ORGANIC LAWN CARE MAINTENANCE METHODS SHALL BE USED FOR EXAMPLE: AERATION IN THE FALL AND/OR SPRING, LEAVE GRASS CLIPPINGS ON LAWN, MOW WITH SHARP BLADES, KEEP GRASS AT LEAST 3 INCHES TALL, USE ORGANIC TOP DRESSING COMPOST, PRACTICE OVERSEEDING, AND USE OF LOW MAINTENANCE LAWN SEED, WATER DEEPLY BUT INFREQUENTLY AS NECESSARY IN THE EARLY MORNING HOURS, USE ORGANIC PEST AND DISEASE CONTROL METHODS.)
- THE PROPOSED NATIVE SEEDMIXES SHALL BE LIGHTLY RAKED INTO THE SURFACE AND APPLIED ACCORDING TO THE SUPPLIERS INSTRUCTIONS.

Prepared By:

BRACKEN
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Sheet Title:

LAYOUT & LANDSCAPING

Project:

PROPOSED COMMERCIAL BUILDING
IN ROCKLAND, MASSACHUSETTS

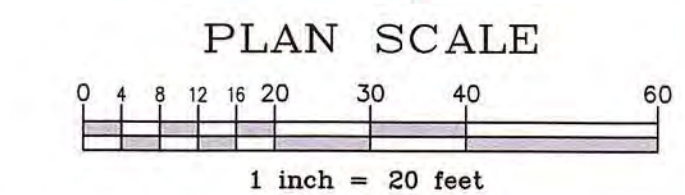
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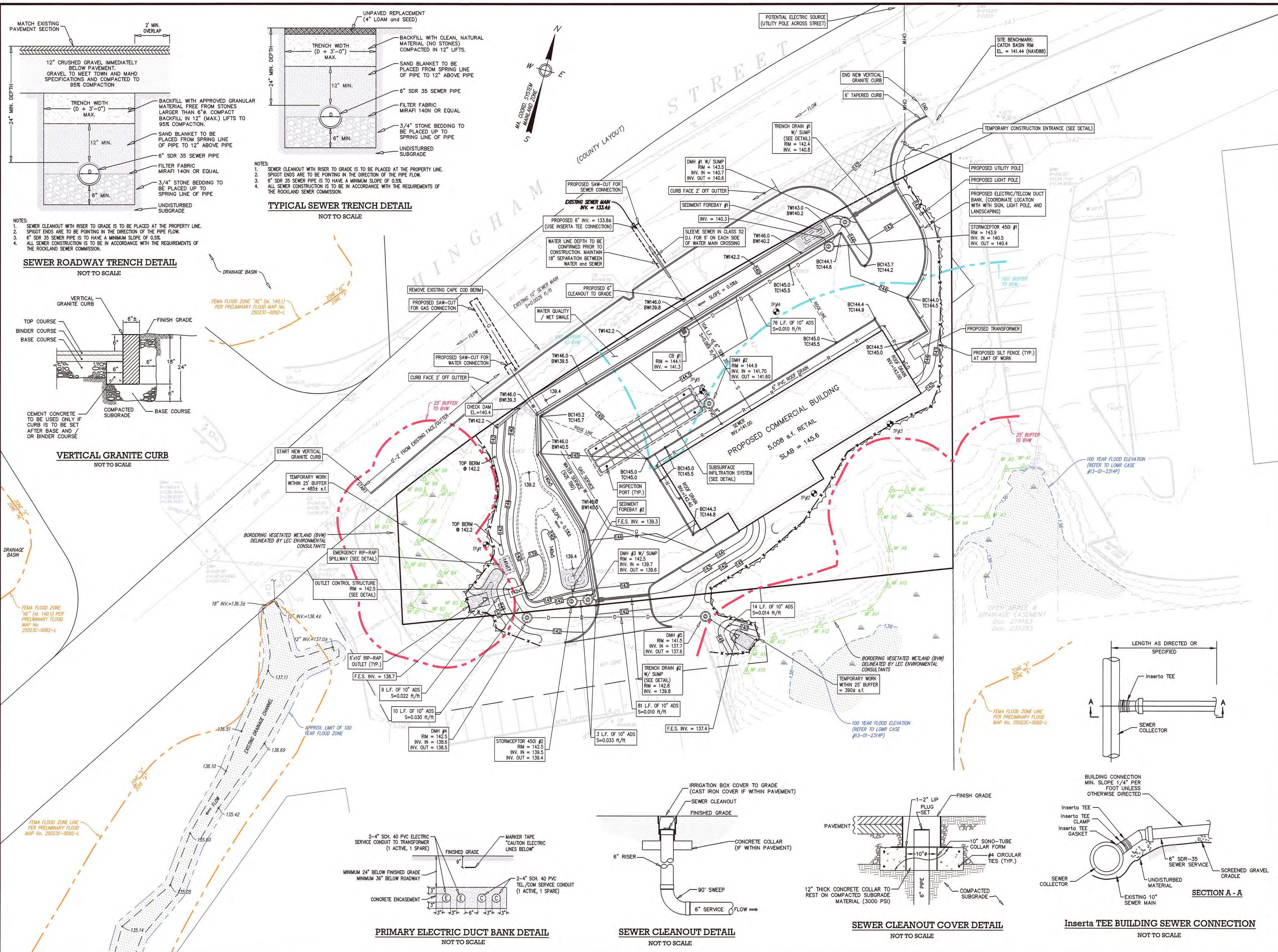
#1015 HINGHAM STREET

MAP 4 PARCEL 11

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6	3/5/21	ADD FENCE	RMM
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1	5/7/20	REVISE PER ZBA COMMENTS	RMM
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		February 19, 2020	RMM/ERC/BEI



ISSUED FOR PERMIT - NOT FOR CONSTRUCTION

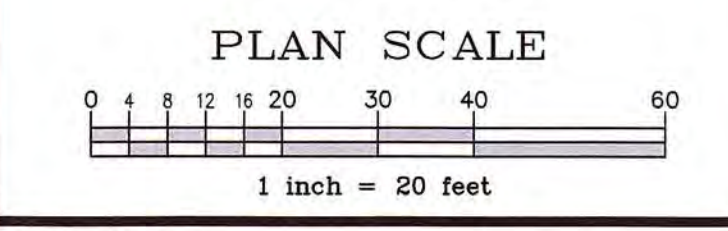


GENERAL NOTES:

1. THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER OF ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS. ANY PROPOSED REVISIONS TO THE WORK, IF REQUIRED BY THESE SITE CONDITIONS, SHALL NOT BE UNDERTAKEN UNTIL REVIEWED AND APPROVED BY THE OWNER AND THE ENGINEER.
2. IN ORDER TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING AT ALL TIMES ALL NECESSARY SAFETY DEVICES AND PERSONNEL, WARNING LIGHTS, BARRICADES, AND POLICE OFFICERS.
3. THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON PLANS AND INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES OR MUNICIPAL DEPARTMENTS SUPPLEMENTED BY FIELD IDENTIFICATION WHEREVER POSSIBLE. NO WARRANTY IS MADE AS TO THE ACCURACY OF THESE LOCATIONS OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL CONTACT DIG SAFE AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. DIG SAFE TELEPHONE NUMBER IS 1-800-322-4844.
4. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.
5. THE ROCKLAND WATER & SEWER DEPARTMENTS SHALL BE NOTIFIED PRIOR TO ANY WORK ON THE WATER & SEWER SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
6. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE TREATED WITH 100 POUNDS OF GROUND LESTONE PER 1000 S.F. OF AREA PLANTED. ALL AREAS TO BE PLANTED WITH GRASS SHALL BE FERTILIZED WITH 10-10-10 AT THE RATE OF 1,000 POUNDS PER ACRE OR AS REQUIRED BY SOIL TEST. 40% OF THE NITROGEN SHALL BE IN ORGANIC FORM.
7. ALL LANDSCAPED AREAS TO BE LOAMED & SEEDDED UNLESS OTHERWISE NOTED.
8. UNLESS OTHERWISE SPECIFIED ALL WORK IS TO CONFORM TO THE LATEST MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS REGULATIONS.

WAIVER REQUESTS:

1. R&R §III.C.2.e.1 FOR USE OF HIGH DENSITY POLYETHYLENE (HDPE) PIPE.
2. R&R §III.C.2.f.1 FOR USE OF SUBSURFACE INFILTRATION SYSTEMS FOR STORMWATER MITIGATION.



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Sheet Title:

GRADING, DRAINAGE & UTILITIES

Project:

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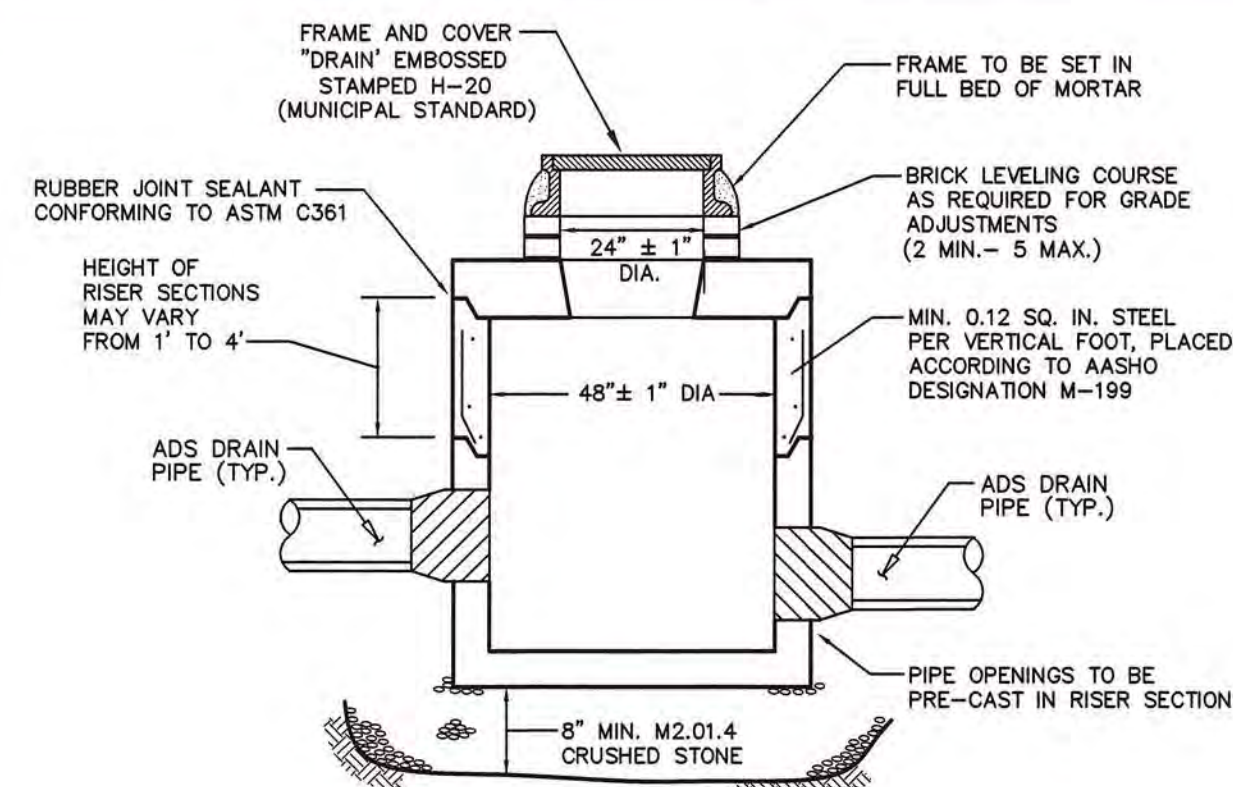
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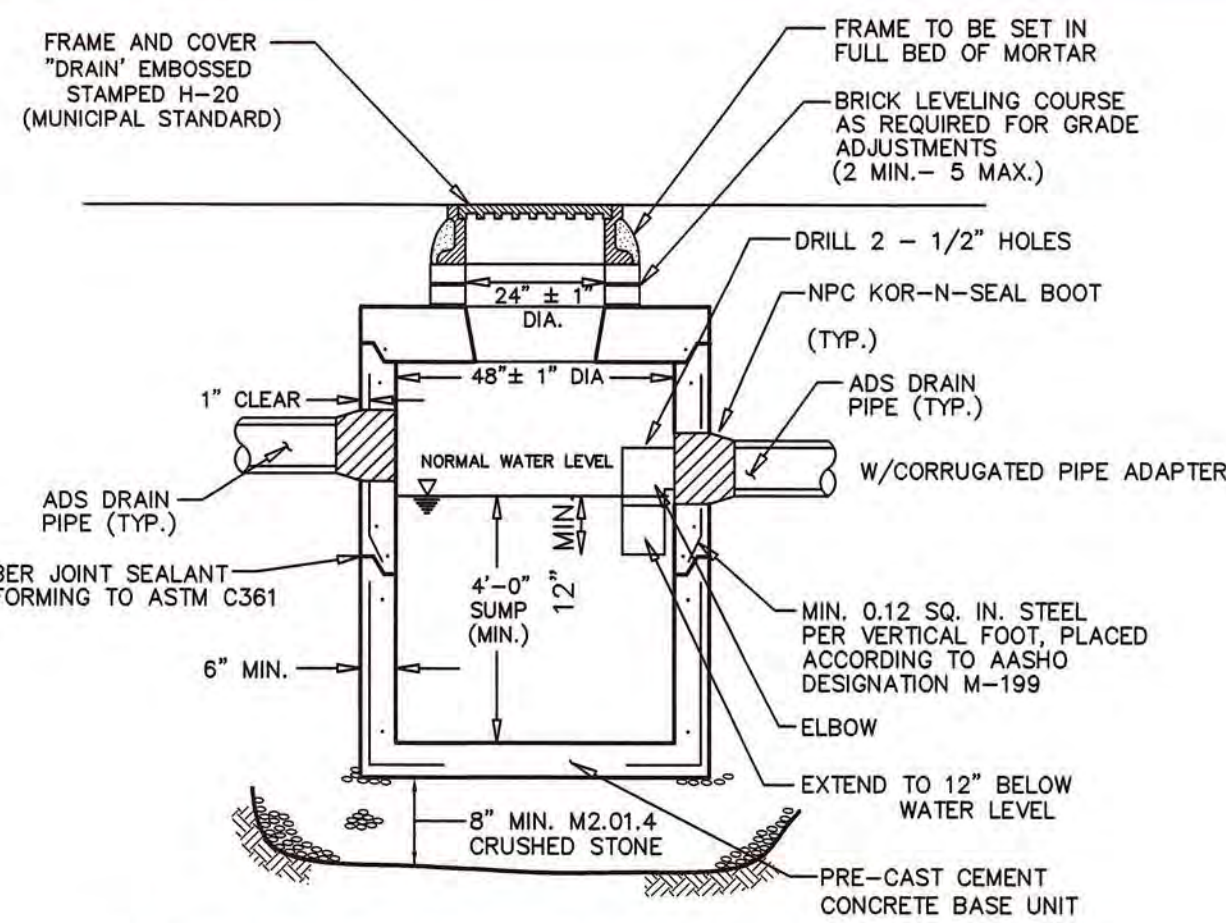
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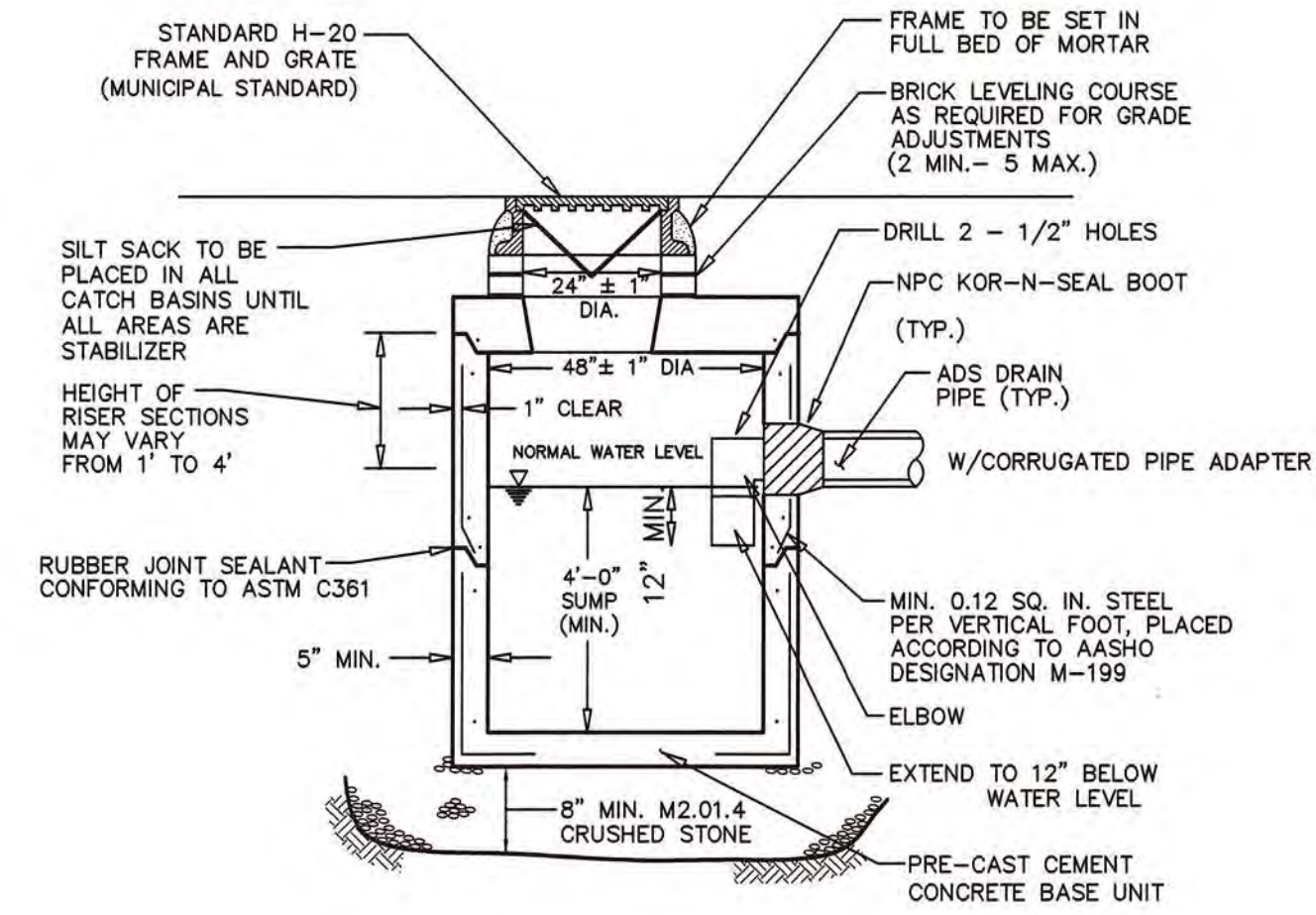
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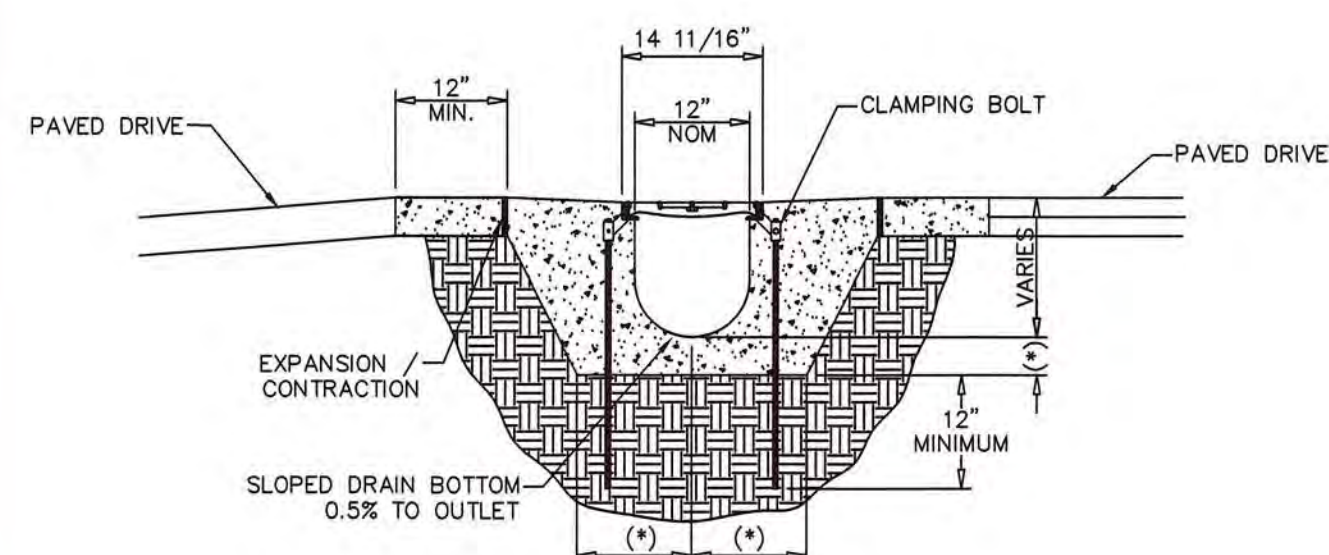
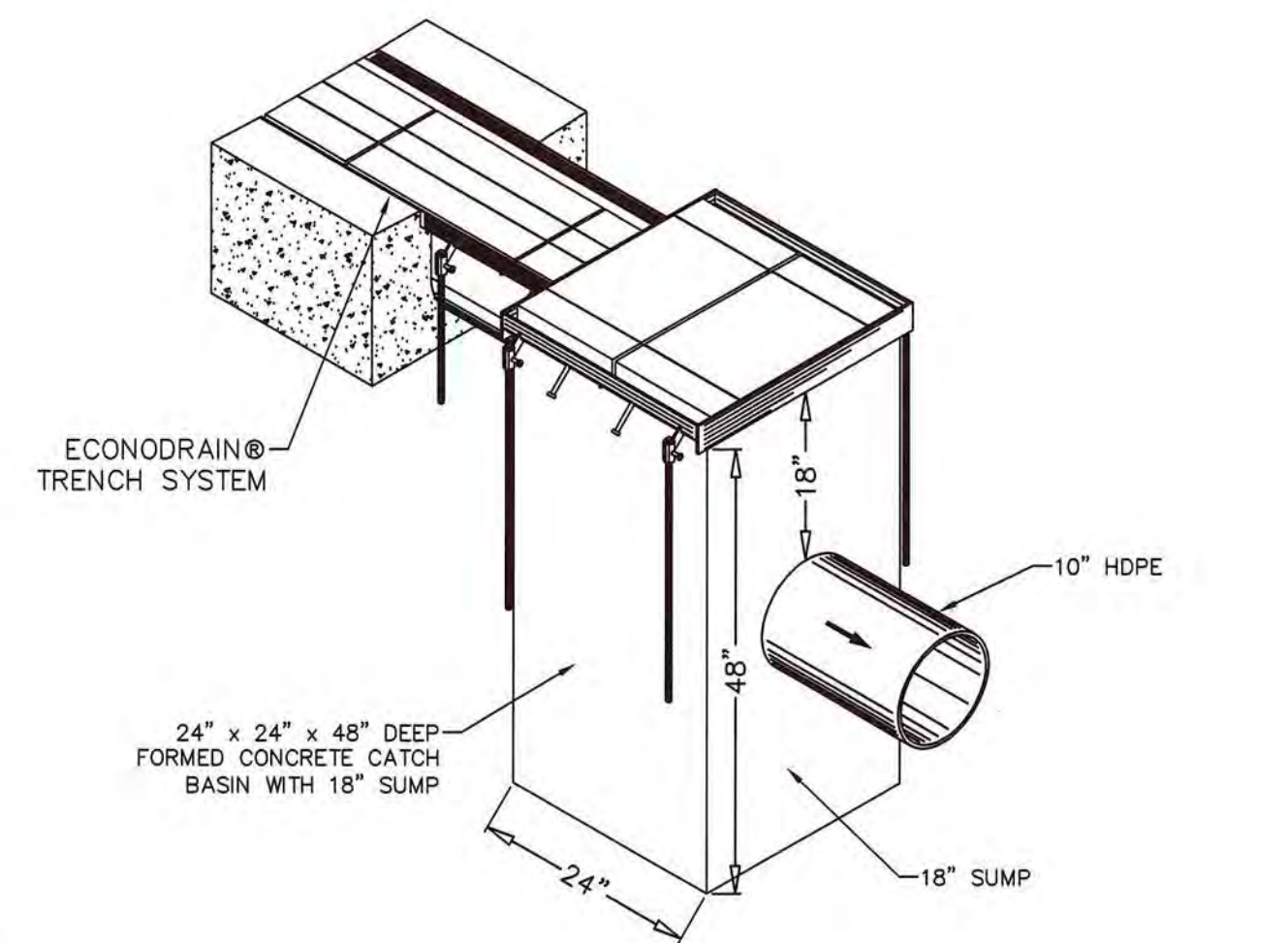
PRE-CAST CONCRETE DRAIN MANHOLE
NOT TO SCALE



PRE-CAST CONCRETE DRAIN MANHOLE W/ SUMP
NOT TO SCALE



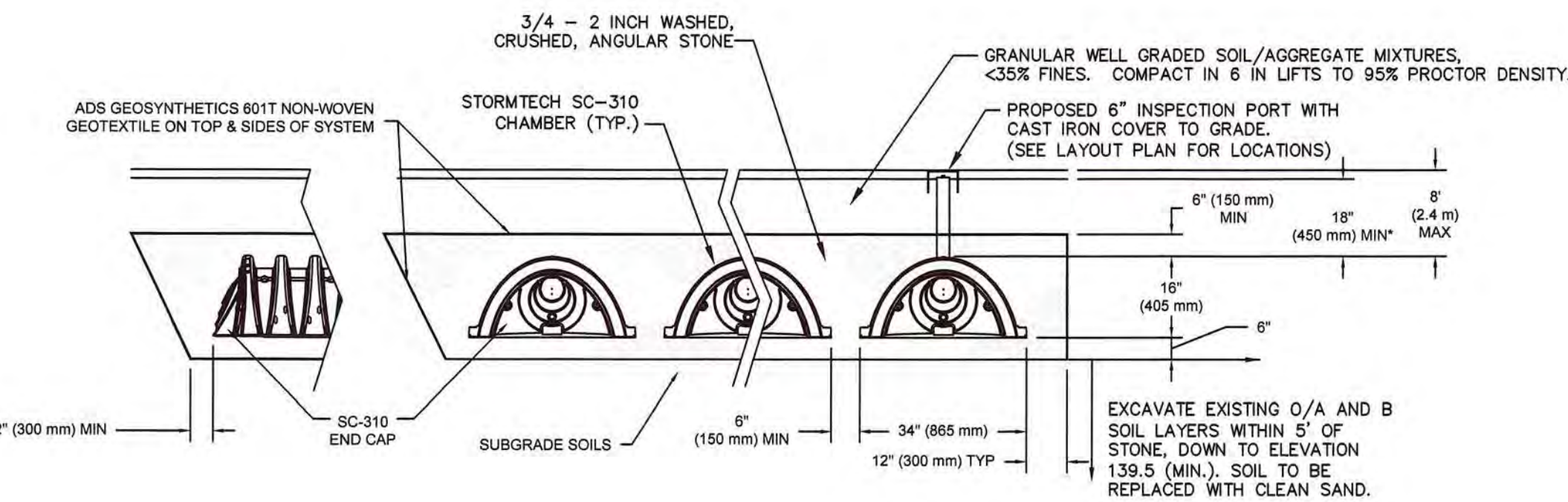
PRE-CAST CONCRETE CATCH BASIN
NOT TO SCALE



NOTES TO THE SPECIFIER:

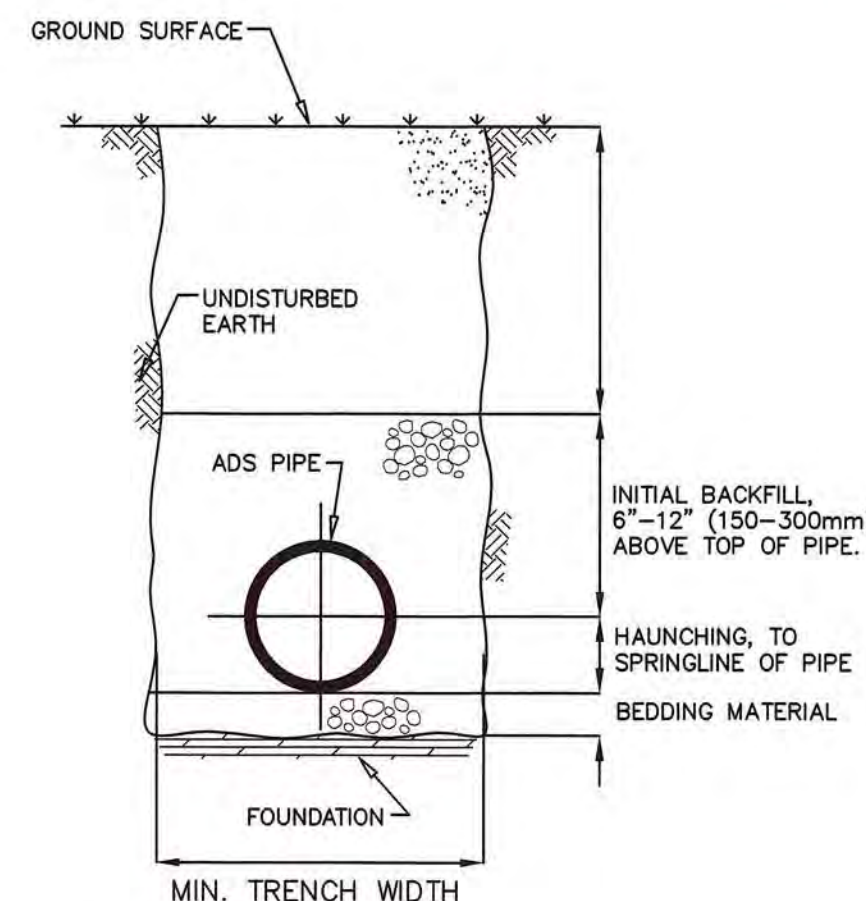
1. ADD REBAR AS REQUIRED
2. SPECIFY REQUIRED DIMENSIONS (LABELED WITH *) USING 6" EACH SIDE OF STEEL FRAME AND BELOW EPS FORM AS A RECOMMENDED MINIMUM.
3. SHOW TOP OF GRATE ELEVATION IN PLAN VIEW 4. EXPANSION / CONTRACTION JOINT PER LOCAL ENGINEERING REGULATIONS AND GUIDELINES
5. STANDARD CHANNEL LENGTH IS 8'-0" (96")
6. STANDARD CHANNEL SLOPE IS 0.5%

EconoDrain SERIES #12 INSTALLATION DETAIL
NOT TO SCALE



SYSTEM SIZE	# OF UNITS	# OF ROWS	TOP OF STONE	TOP OF CHAMBER	INVERT IN	INLET DIA.	BOTTOM CHAMBER	BOTTOM STONE	GROUNDWATER ELEVATION	FINISHED GRADE
14.83' x 60.16' x 2.33'	32	4	143.33	142.83	141.55	8"	141.50	141.00	137.6 (TP#5)	144.7± to 145.1±

STORMWATER MANAGEMENT AREA
NOT TO SCALE



NOTES:

1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS," LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

2. BEDDING, HAUNCHING & INITIAL BACKFILL: SUITABLE MATERIAL SHALL CONSIST OF CLEAN, HARD, PARTICLES OF GRAVEL MEETING THE FOLLOWING:

SIEVE SIZES	PASSING
NO. 4	85-95%
NO. 8	5-15%
NO. 10	0-2%

MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100-600MM) AND 42"-48" (1050-1200MM) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150MM) FOR 30"-36" (750-900MM) CPEP.

4. MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

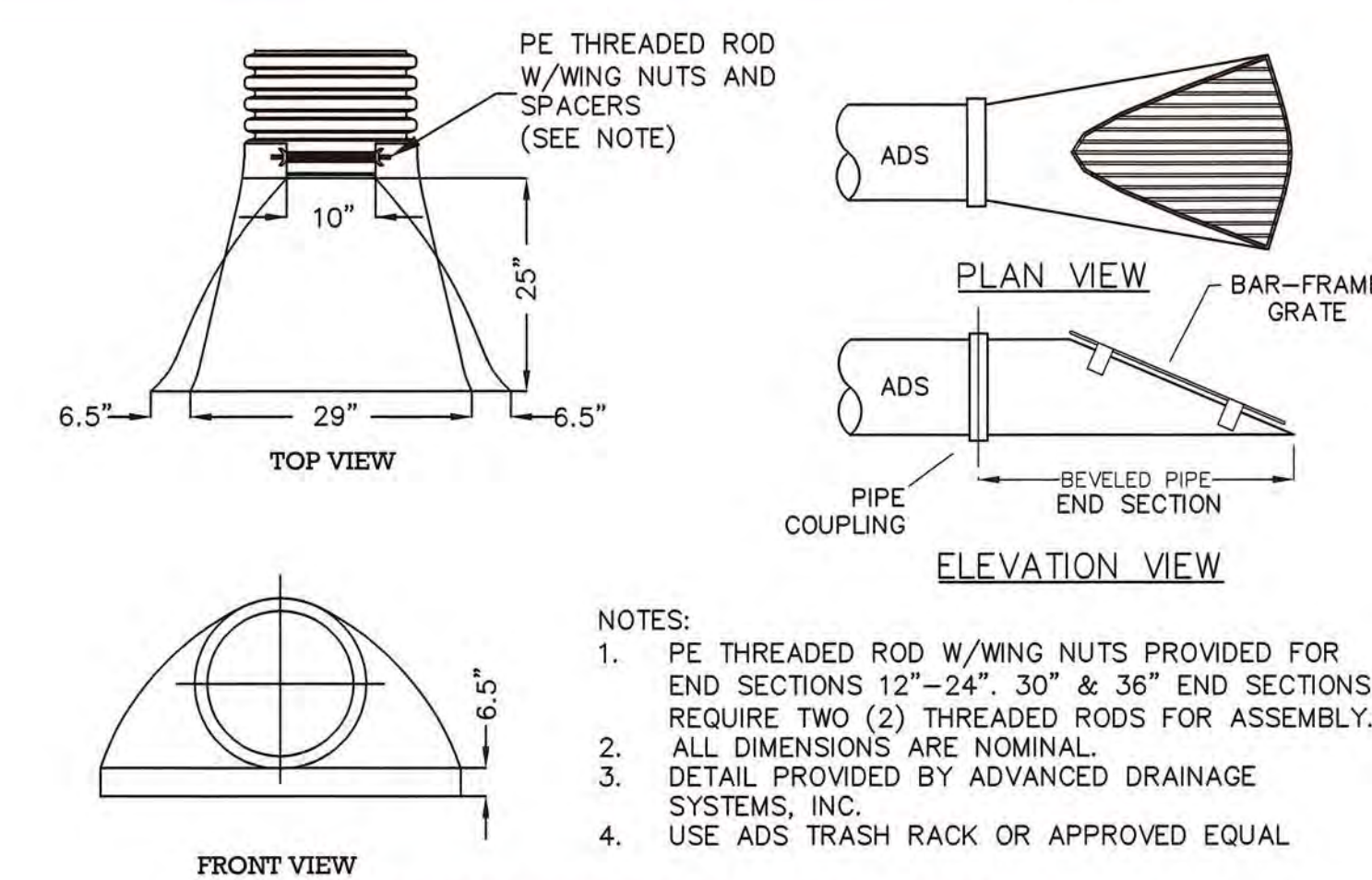
NOMINAL #	MIN. RECOMMENDED TRENCH WIDTH, in. (mm)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)
18 (450)	39 (990)

5. MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in. (mm)
H25 (FLEXIBLE PAVEMENT)	12 (300)*
H25 (RIGID PAVEMENT)	12 (300)
E80 RAILWAY	24 (610)
HEAVY CONSTRUCTION	48 (1220)

*TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION

TRENCH CROSS-SECTION & A.D.S. PIPE INSTALLATION DETAIL
NOT TO SCALE



FLARED END SECTION & TRASH RACK DETAIL
NOT TO SCALE

NOTES:

1. PE THREADED ROD W/WING NUTS PROVIDED FOR END SECTIONS 12"-24", 30" & 36" END SECTIONS REQUIRE TWO (2) THREADED RODS FOR ASSEMBLY.
2. ALL DIMENSIONS ARE NOMINAL.
3. DETAIL PROVIDED BY ADVANCED DRAINAGE SYSTEMS, INC.
4. USE ADS TRASH RACK OR APPROVED EQUAL

NOTES:

CHAMBERS SHALL MEET ASTM F 2418-05 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".

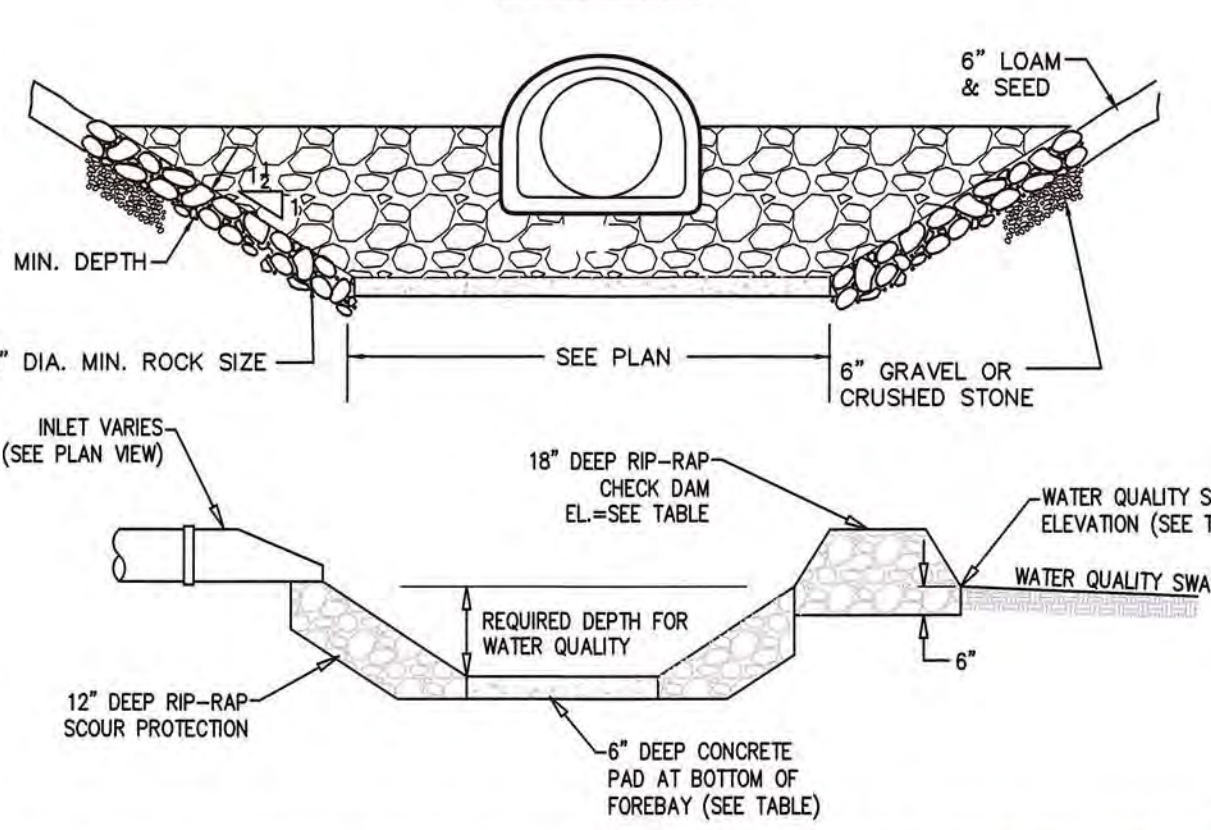
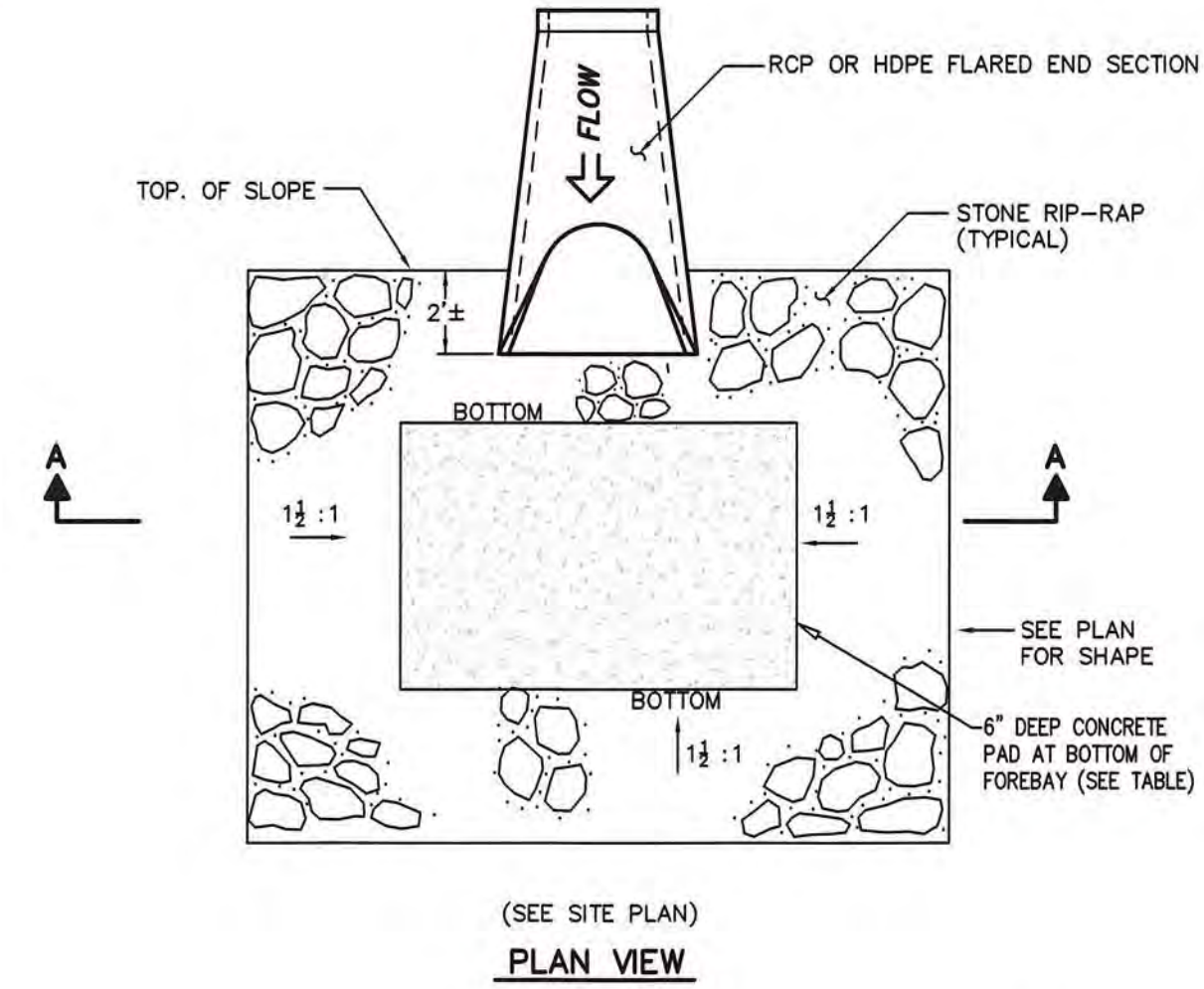
THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE THE SAFETY FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS, WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.

THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE SAFETY FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS.

UNSATURABLE SOILS: SURFICIAL ORGANICS, SURFICIAL OR BURIED TOP SOIL/SUB SOIL, OLD FOUNDATION, UTILITIES, PAVEMENT, FILL AND ALL OTHER DELETERIOUS MATERIAL.

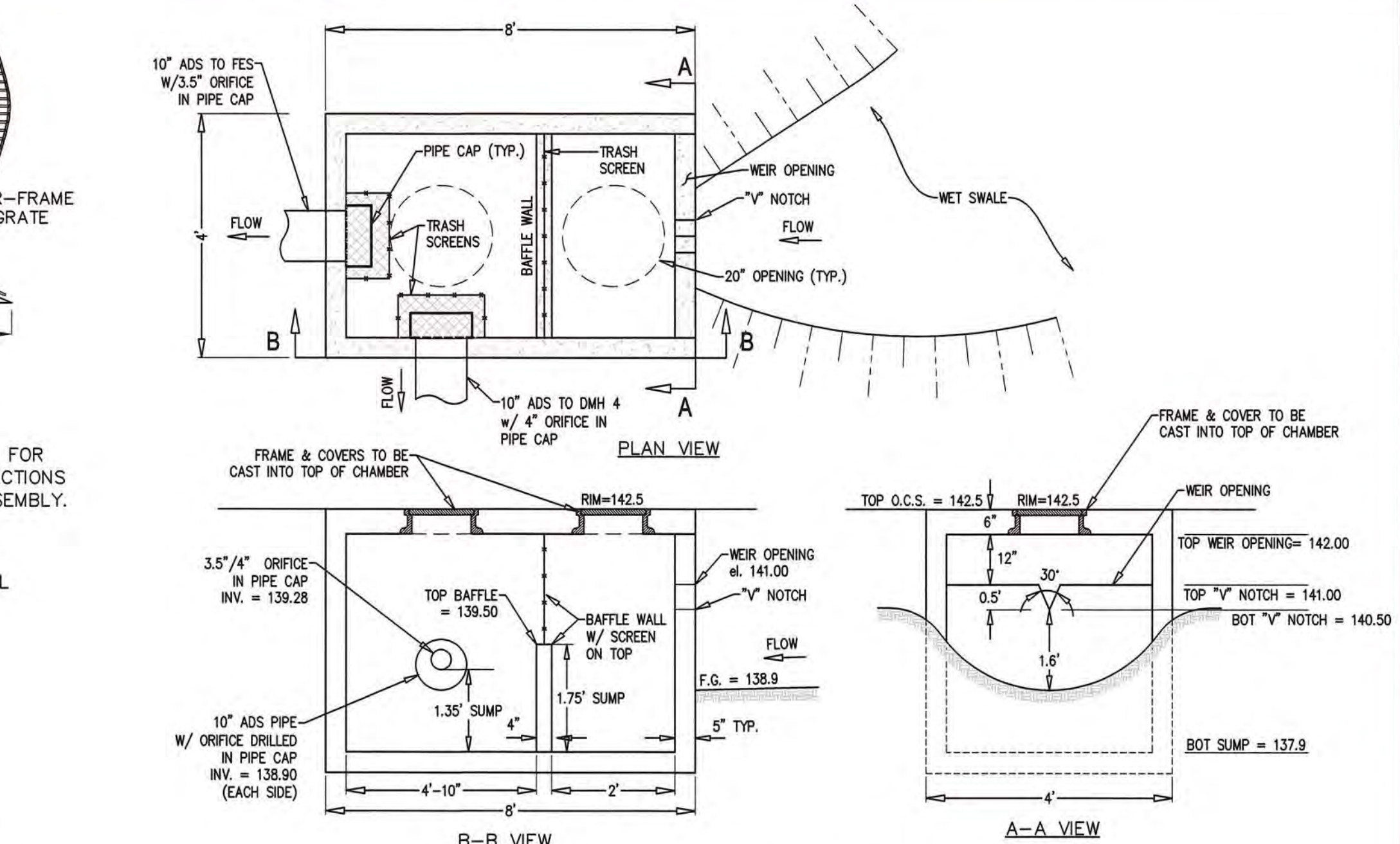
SOIL INSPECTION: THE DESIGN ENGINEER SHALL CONDUCT A BOTTOM OF EXCAVATION TEST, TO VERIFY THE UNSATURABLE MATERIALS HAVE BEEN REMOVED PRIOR TO BACKFILL OF SAND AND PRIOR TO THE INSTALLATION OF THE CRUSHED STONE BASE.

PROTECTION: INFILTRATION AREAS ARE TO BE PROTECTED DURING CONSTRUCTION AND AVOID OVER COMPACTION TO INSURE THE INFILTRATION CAPACITY IS MAINTAINED.

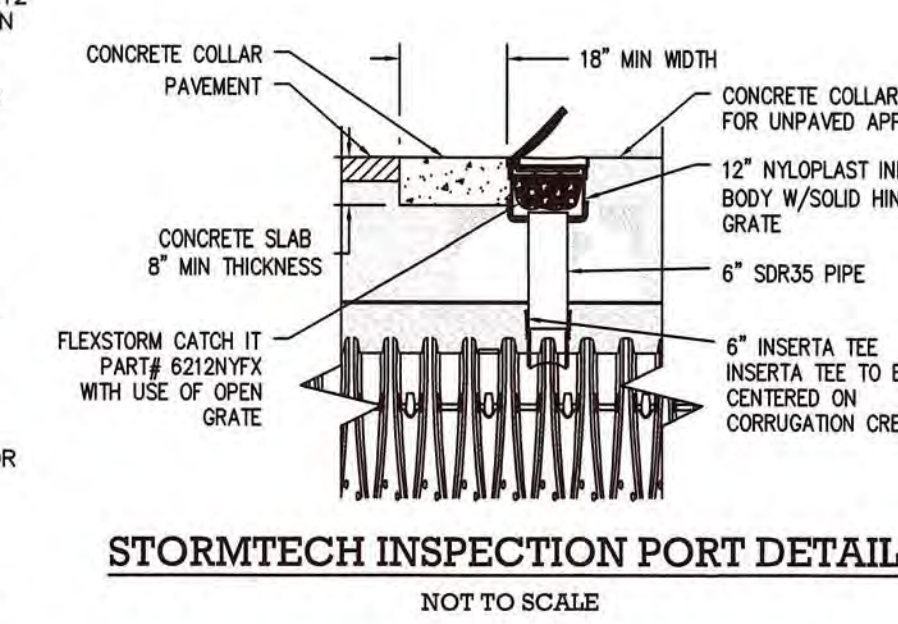


SEDIMENT FOREBAY	INLET EL.	WATER QUALITY VOLUME	BOTTOM FOREBAY EL.	TOP CHECK DAM EL.	WATER QUALITY SWALE EL.	CONC. PAD DIMENSIONS
#1	140.3	90 c.f.	138.7	141.2	140.2	2'W x 9'L
#2	139.5	34 c.f.	138.4	140.4	139.4	6'W x 3'L

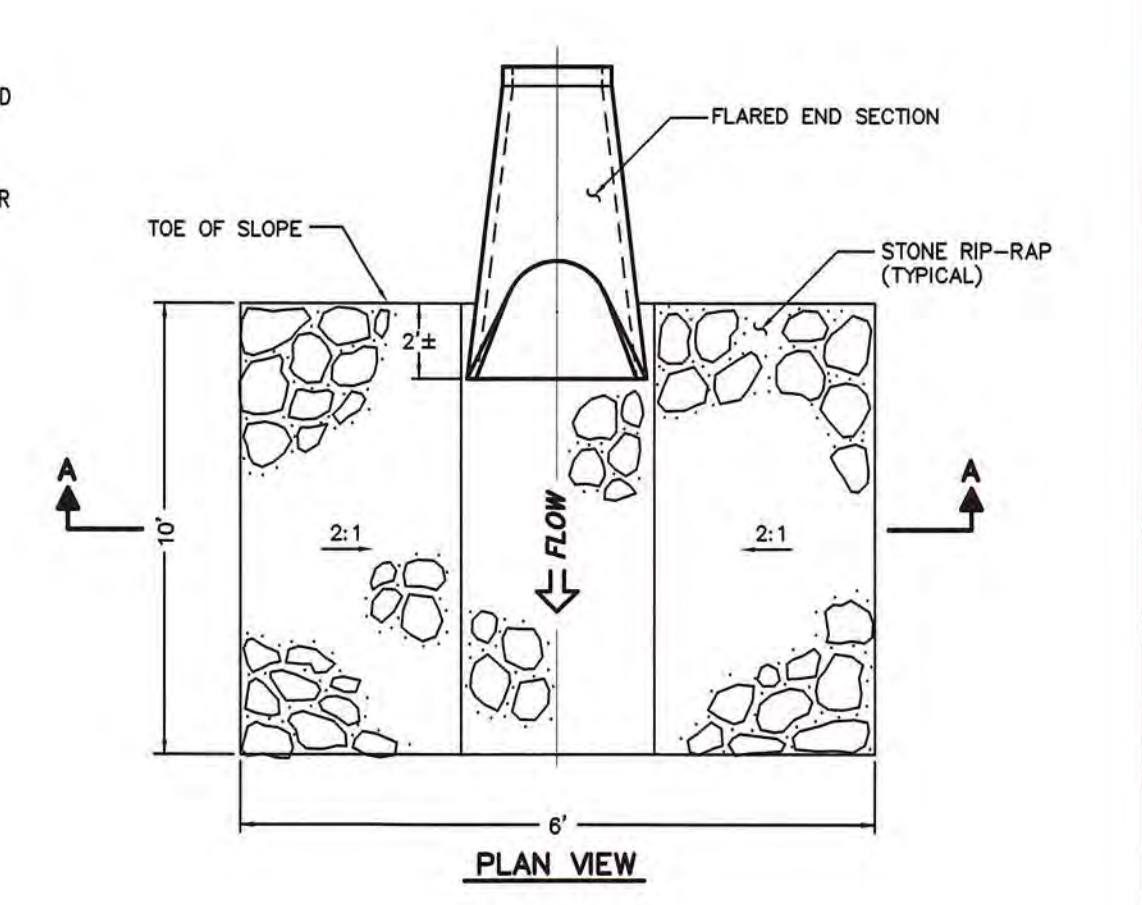
SEDIMENT FOREBAY & CHECK DAM DETAIL
NOT TO SCALE



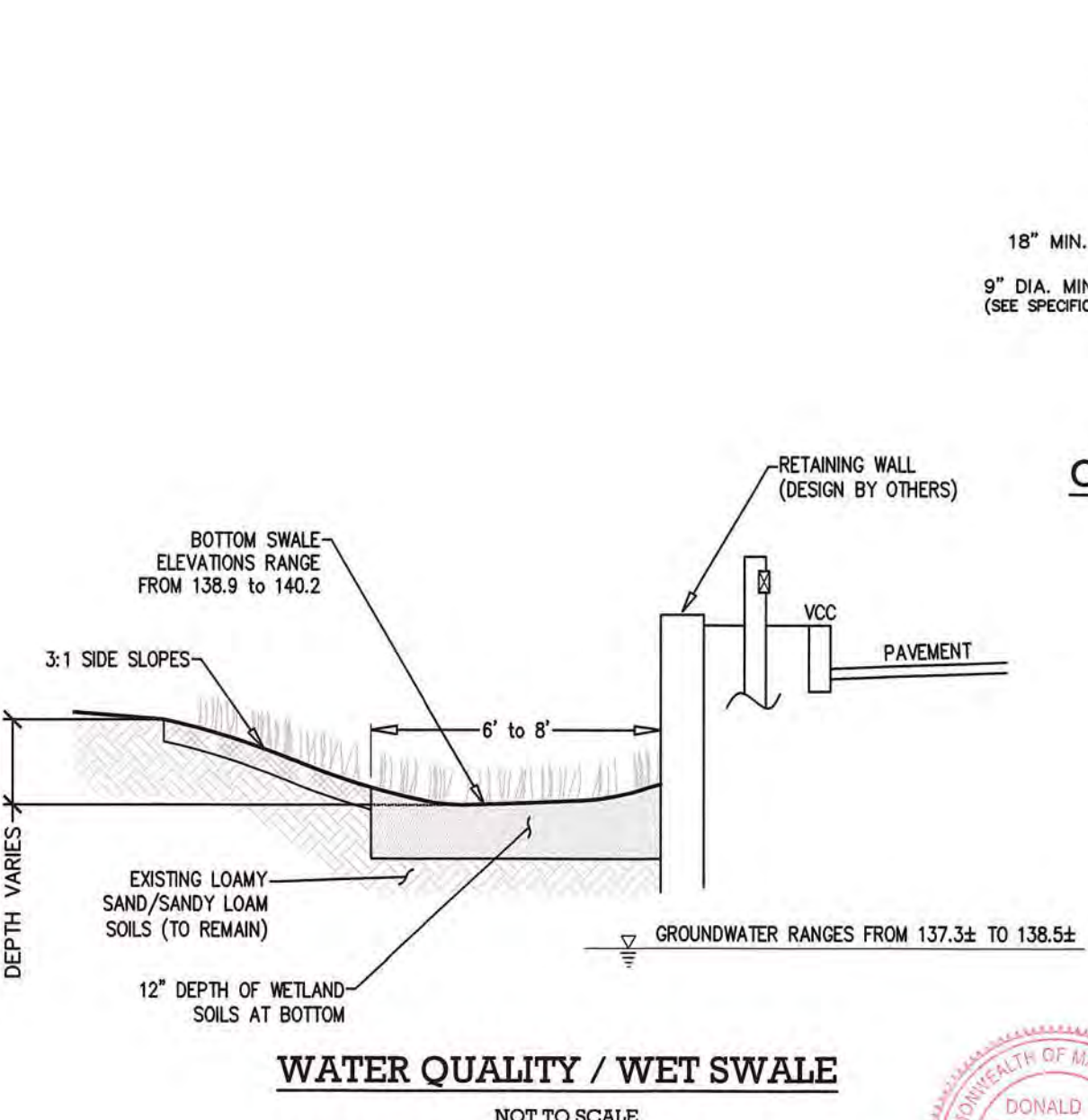
OUTLET CONTROL STRUCTURE
NOT TO SCALE



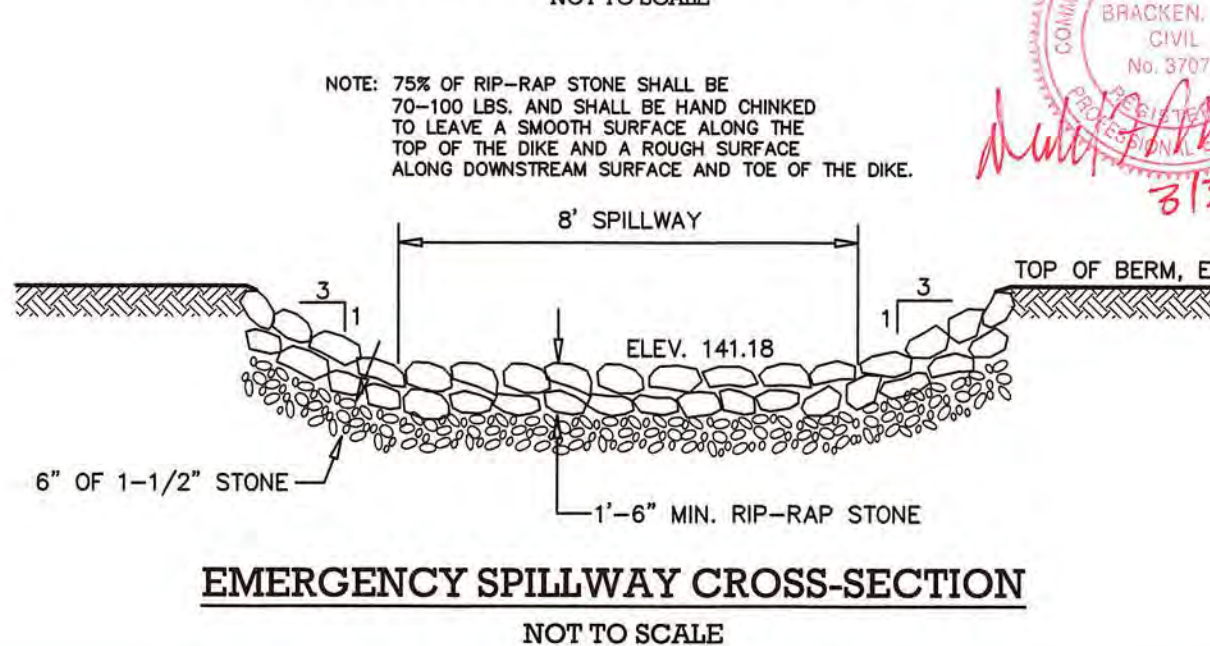
STORMTECH INSPECTION PORT DETAIL
NOT TO SCALE



OUTLET EROSION PROTECTION DETAIL
NOT TO SCALE



WATER QUALITY / WET SWALE
NOT TO SCALE



EMERGENCY SPILLWAY CROSS-SECTION
NOT TO SCALE

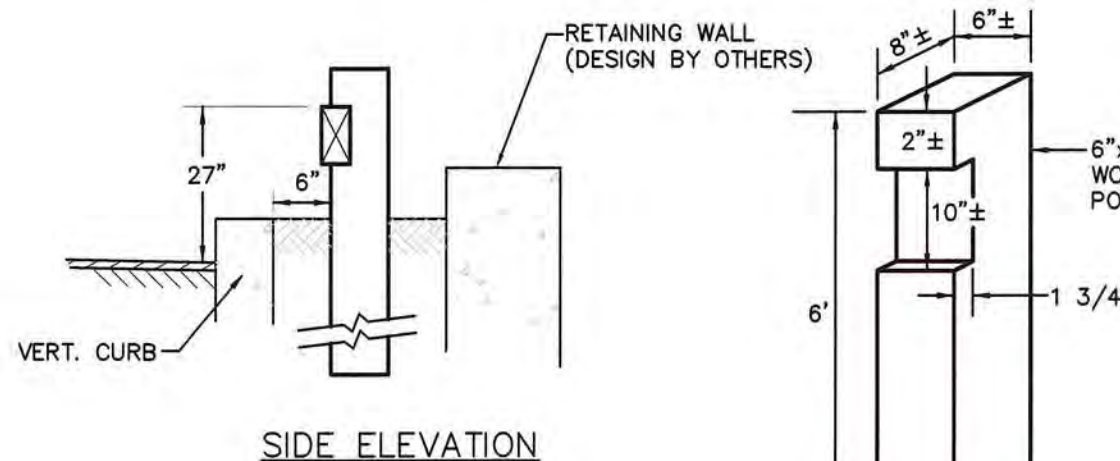
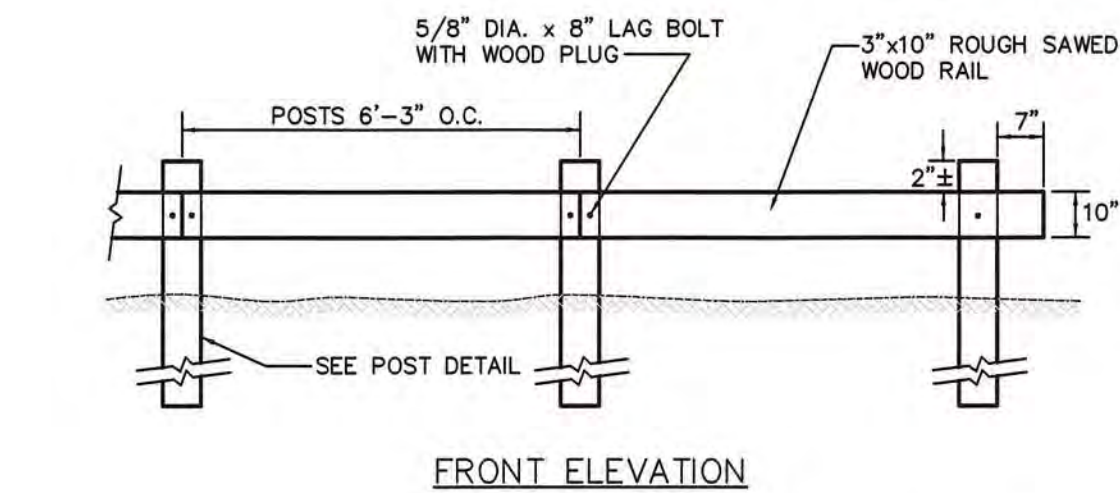
Prepared By:
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CONSTRUCTION DETAILS

Project:
PROPOSED COMMERCIAL BUILDING IN ROCKLAND, MASSACHUSETTS
PREPARED FOR:
ROCKLAND OLD EXIT 14, INC.
#1015 HINGHAM STREET
MAP 4 PARCEL 11

No.	Date	Revision Description	By
7	3/30/22	UPDATE WITH NEW APPLICANT	RMM
6	3/5/21	ADD FENCE	RMM
5	11/23/20	MISC. REVISIONS	RMM
4	9/30/20	ISSUED FOR BID/PRICING	RMM
3	8/18/20	REVISE PER REVIEW COMMENTS	RMM
2	5/15/20	SUBMITTAL TO CONSERVATION COMMISSION	RMM
1	5/7/20	REVISE PER ZBA COMMENTS	RMM

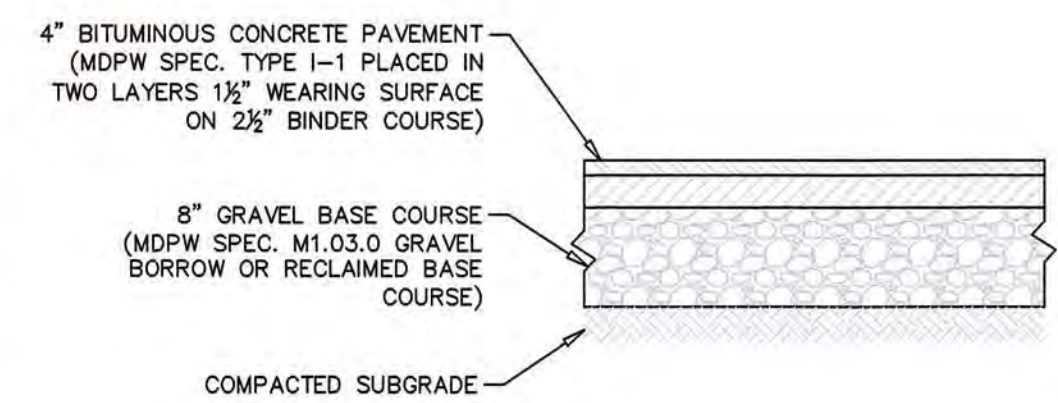
Date: FEBRUARY 19, 2020 Drawn: RMM/ERC/BEI Checked: DFB/AMG Sheet: 5 of 6



NOTE: ALL TIMBER TO BE PRESSURE TREATED. STEEL BEAM GUARD RAIL MAY BE SUBSTITUTED BY OWNER.

WOOD GUARD RAIL DETAIL

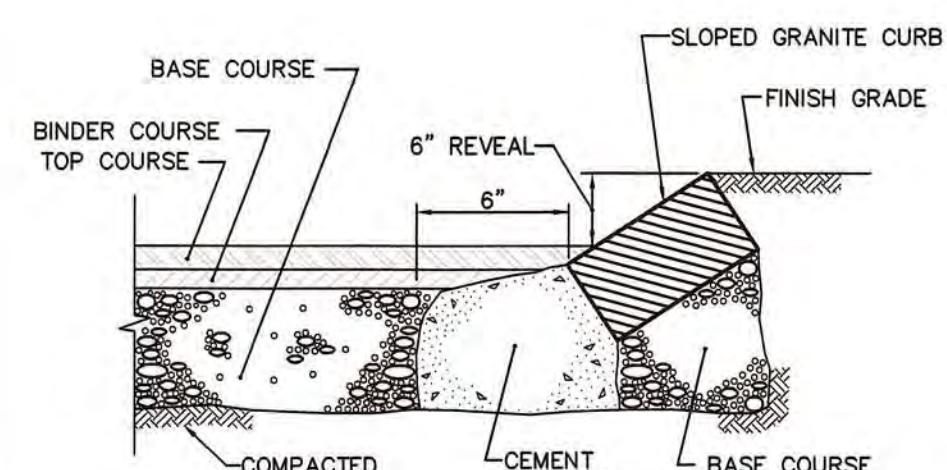
NOT TO SCALE



- NOTES:
- SANDY LOAM and/or LOAMY SAND TOPSOIL MATERIAL SHALL BE EXCAVATED FROM ALL PAVED AREAS PRIOR TO SUB-BASE INSTALLATION.
 - SUB-GRADE (EXISTING MATERIAL) SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE and/or COARSE SAND, FREE FROM LOAM AND CLAY TO A DEPTH NOT LESS THAN 4 FEET BELOW THE FINISH PAVEMENT SURFACE.
 - SUBGRADE FILL SHALL BE COMPACTED TO 95% COMPACTION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
 - SEE SITE LAYOUT PLAN FOR PAVEMENT WIDTH and LOCATION.
 - SEE GRADING PLAN FOR PAVEMENT SLOPE and CROSS SLOPE.
 - PRIOR TO INSTALLING THE WEARING COURSE, THE EXISTING BINDER COURSE SURFACE SHALL BE SWEEPED COMPLETELY CLEAN BY A STREET SWEEPING MACHINE and a TACK COAT SHALL BE INSTALLED TO A LEVEL APPROVED BY THE ENGINEER.

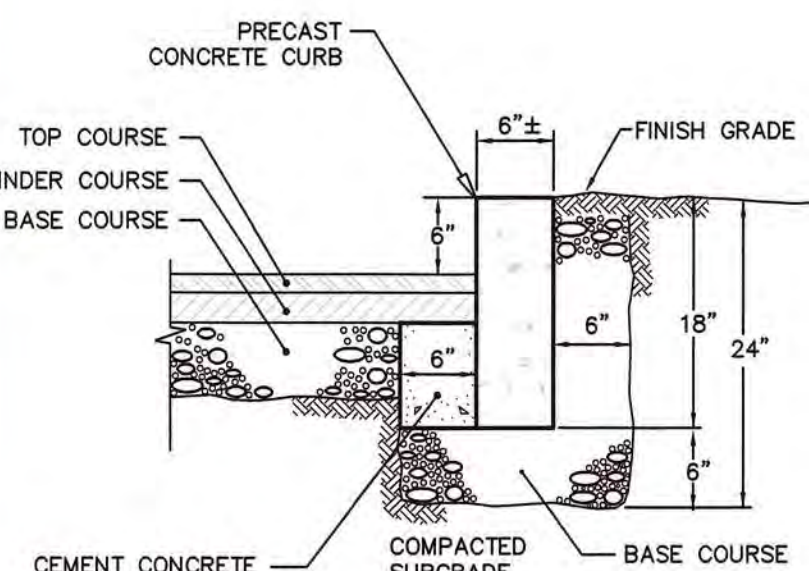
PARKING AREA PAVEMENT SECTION

NOT TO SCALE



SLOPED GRANITE CURB

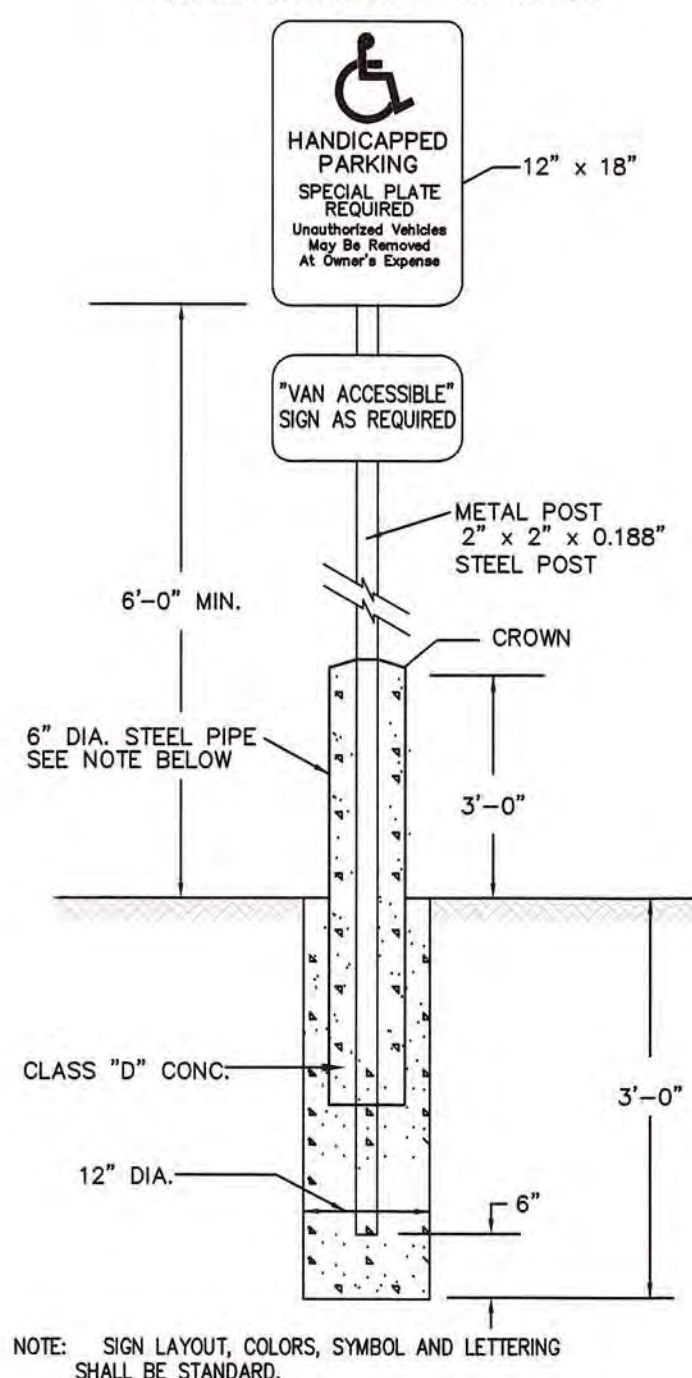
NOT TO SCALE



PRECAST CONCRETE CURB

NOT TO SCALE

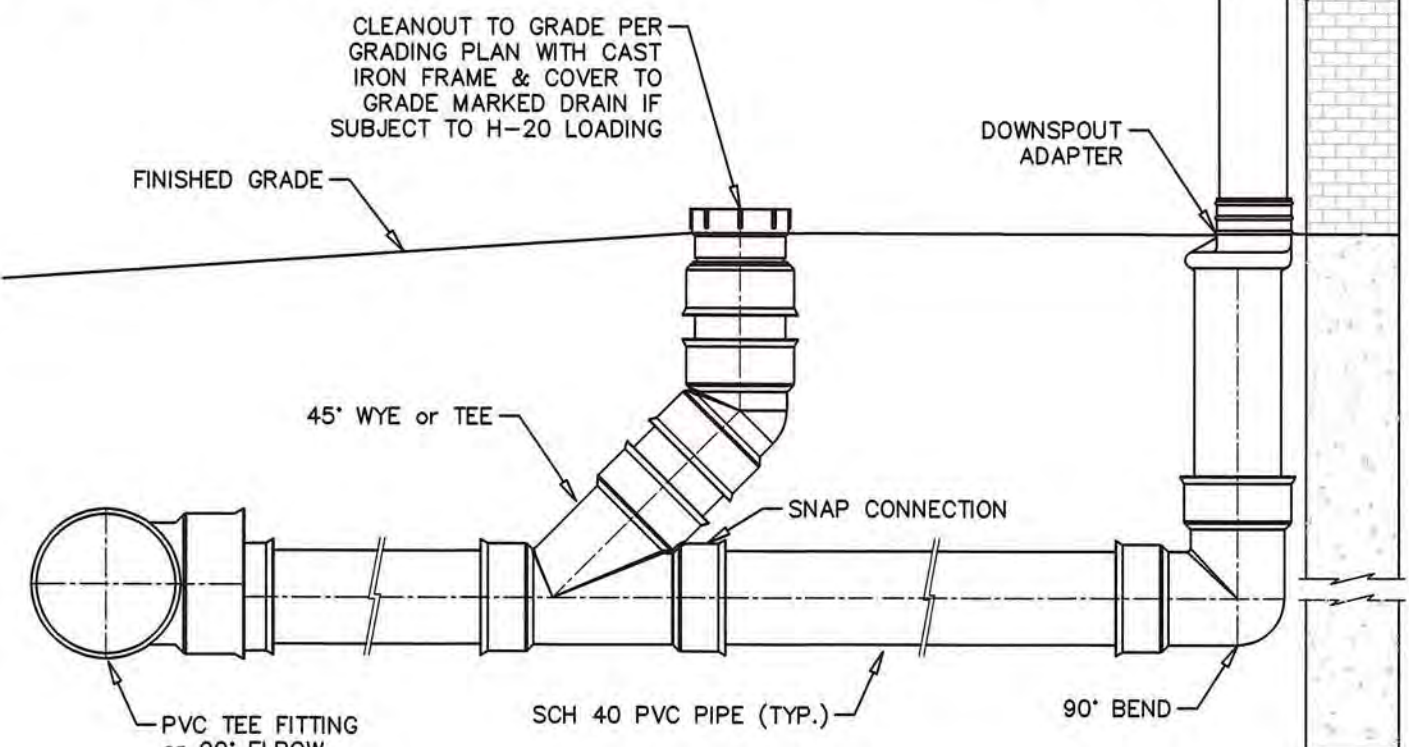
HANDICAPPED RESERVED PARKING SIGN



HANDICAP PARKING SIGN

NOT TO SCALE

NOTE: ALL PIPE AFTER THE ADAPTER SHALL BE 6" PIPE UNLESS OTHERWISE NOTED.

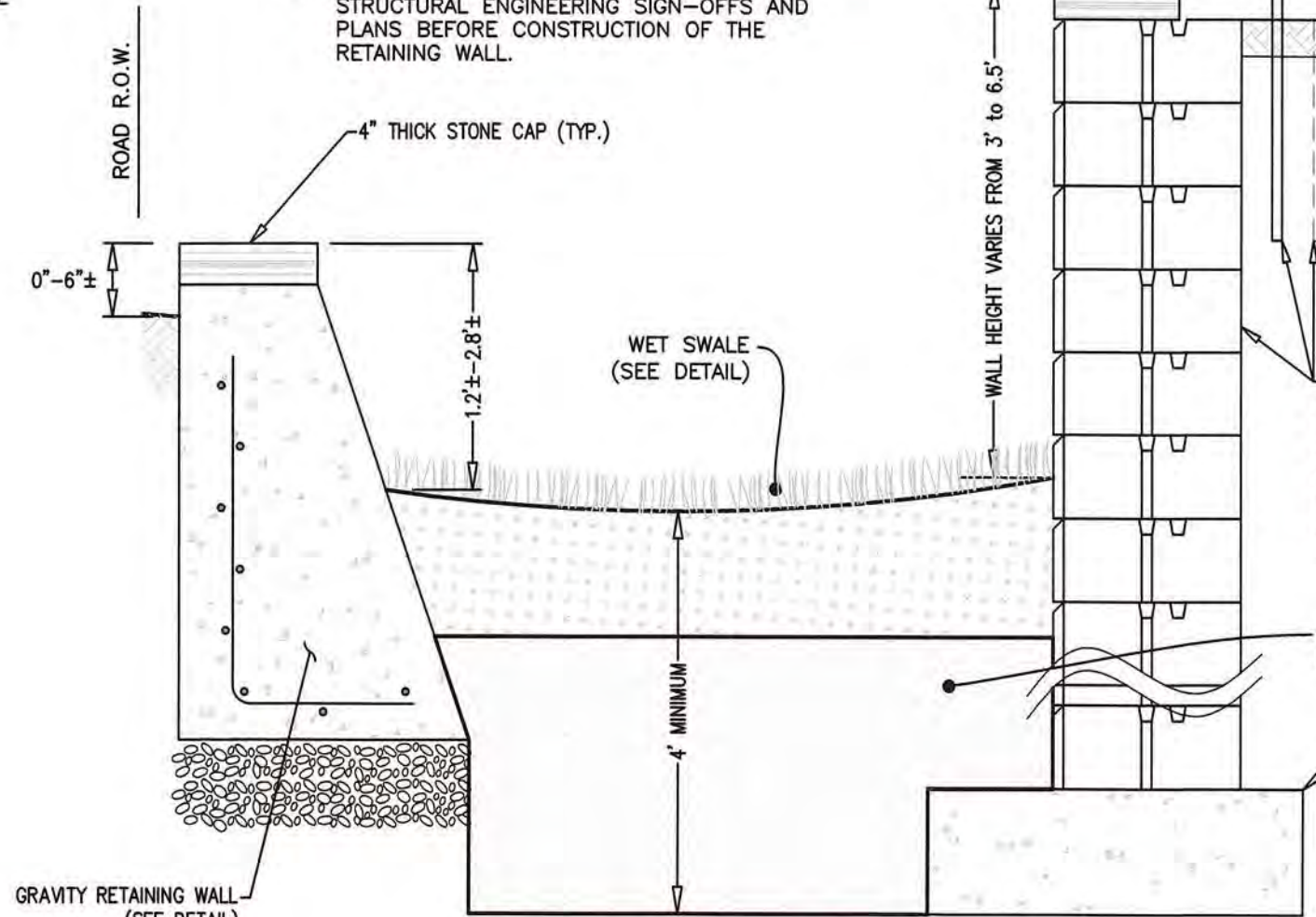


TYPICAL ROOF DRAIN DETAIL

NOT TO SCALE

NOTES:

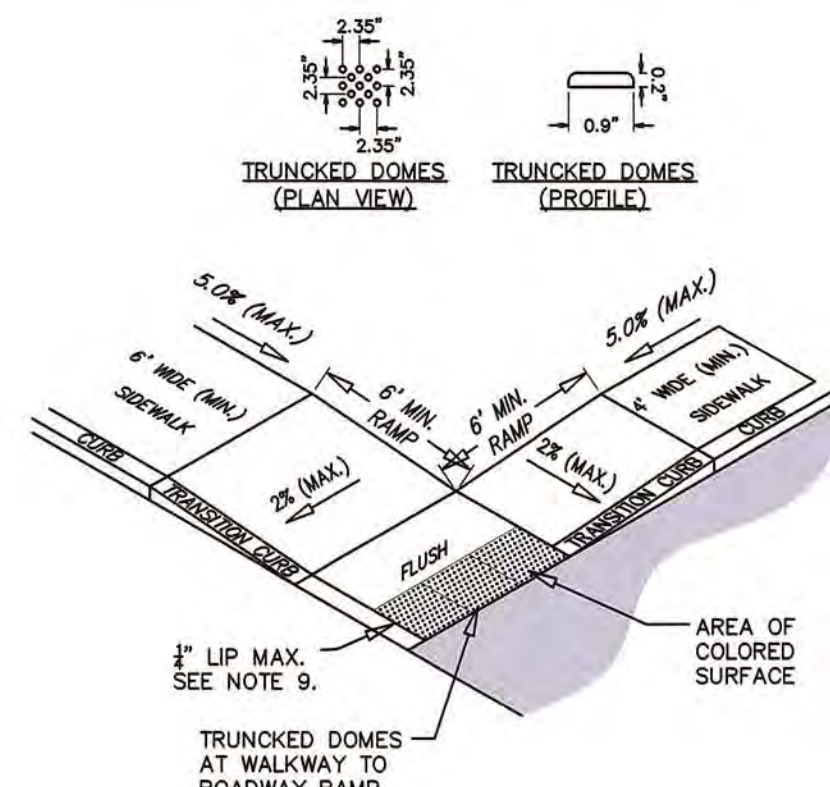
- RETAINING WALL DETAIL IS FOR PLANNING PURPOSES ONLY. ACTUAL RETAINING WALL DESIGN TO BE PROVIDED BY OTHERS.
- CONTRACTOR IS TO OBTAIN ANY REQUIRED STRUCTURAL ENGINEERING SIGN-OFFS AND PLANS BEFORE CONSTRUCTION OF THE RETAINING WALL.



SEGMENTAL RETAINING WALL

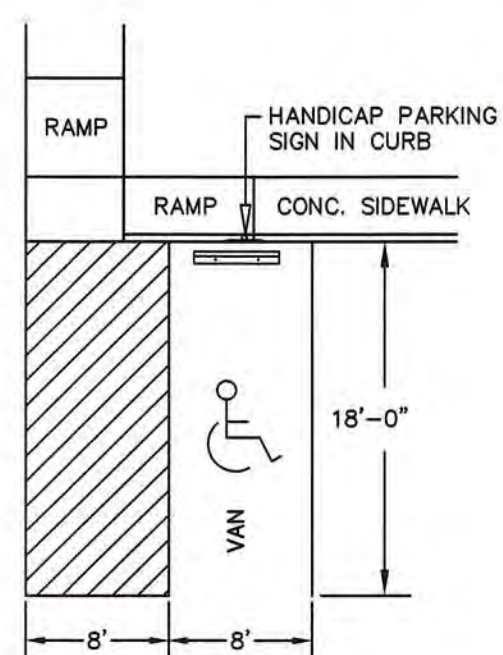
CROSS-SECTION

NOT TO SCALE



HANDICAP RAMP DETAIL

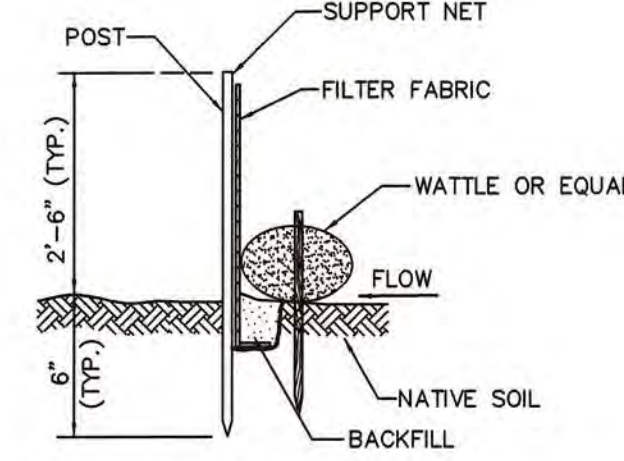
NOT TO SCALE



HANDICAP PARKING DETAIL

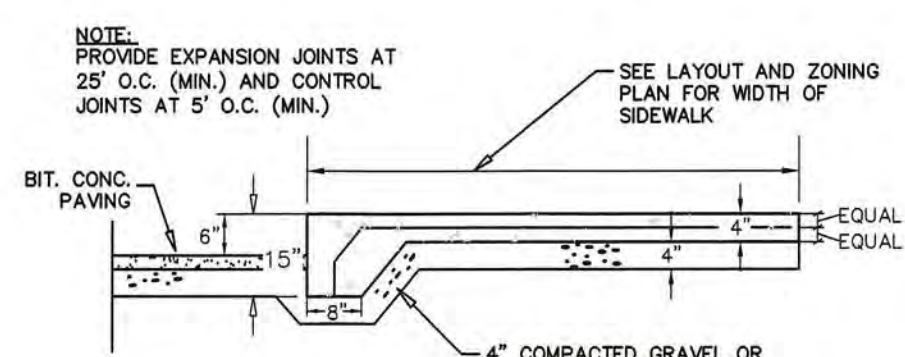
NOT TO SCALE

- NOTES:
- THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2.0% (1.0% MIN.).
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 - A MINIMUM DISTANCE OF 3' CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN THE ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 - CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 - RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 - TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 - WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200'.
 - ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWING TO BE INSTALLED AND SET FLUSH.
 - DETECTABLE WARNINGS SHALL CONTRAST VISUALLY AND AUDIBLY WITH ADJOINING SURFACES.



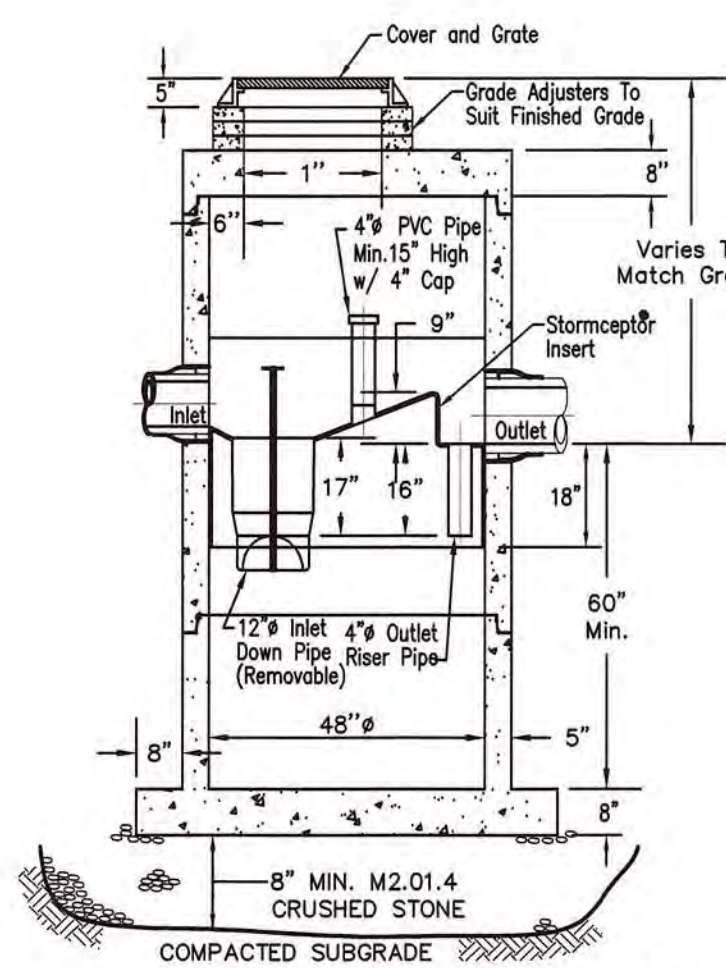
SILTATION FENCE DETAIL

NOT TO SCALE



INTEGRAL SIDEWALK / CURB DETAIL

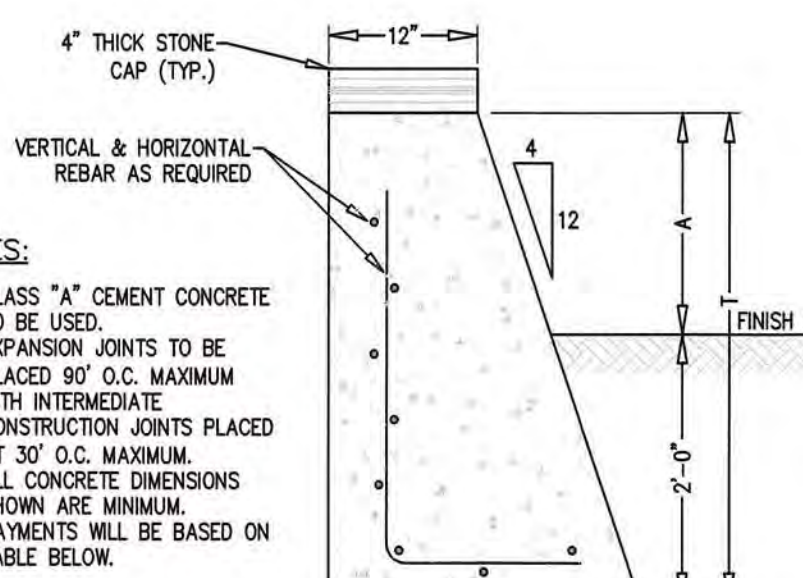
NOT TO SCALE



STC 450i PRECAST CONCRETE STORMCEPTOR

NOT TO SCALE

- Notes:
- The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 - The Cover Should Be Positioned Over The Inlet Drop Pipe and The Oil Port.
 - The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.



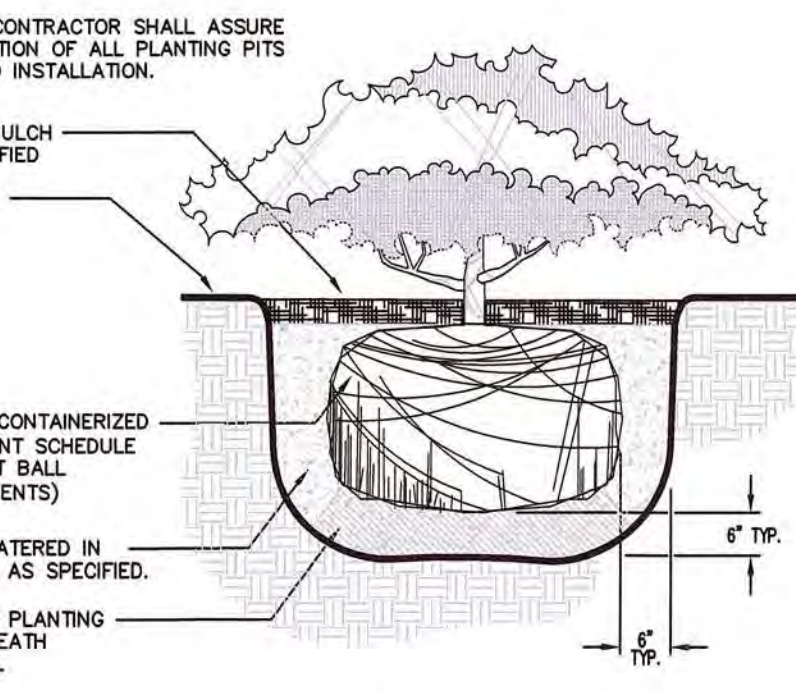
NOTES:

- CLASS "A" CEMENT CONCRETE TO BE USED.
- EXPANSION JOINTS TO BE PLACED 90' O.C. MAXIMUM WITH INTERMEDIATE CONSTRUCTION JOINTS PLACED AT 30' O.C. MAXIMUM.
- ALL CONCRETE DIMENSIONS SHOWN ARE MINIMUM.
- PAYMENTS WILL BE BASED ON TABLE BELOW.

HEIGHTS	T	W	AREA (SQ. FT.)	CJ. YDS. PER LIN. FT.
2'-0"	4'-0"	2'-4"	6.867	0.247
2'-6"	4'-6"	2'-4"	7.875	0.292
3'-0"	5'-0"	2'-4"	9.165	0.328
3'-6"	5'-6"	2'-10"	10.541	0.390
4'-0"	6'-0"	3'-0"	12.000	0.444
4'-6"	6'-6"	3'-2"	13.541	0.502
5'-0"	7'-0"	3'-4"	15.162	0.562

GRAVITY RETAINING WALL CROSS-SECTION

NOT TO SCALE



SHRUB PLANTING DETAIL

NOT TO SCALE

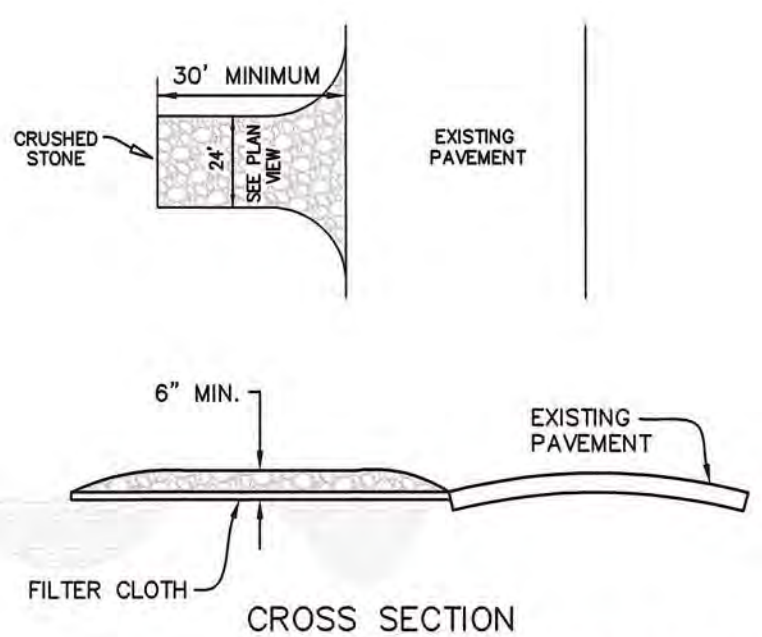
TRACKING PAD NOTES:

STONE SIZE - USE 2" CRUSHED STONE

FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. STONE USED SHALL BE LARGE ENOUGH SO THAT IT DOES NOT GET PICKED UP AND TRACKED OFF THE SITE BY THE VEHICLE TRAFFIC.

SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHOULD BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM SHOULD BE PERMITTED.

MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



TEMPORARY TRACKING PAD DETAIL

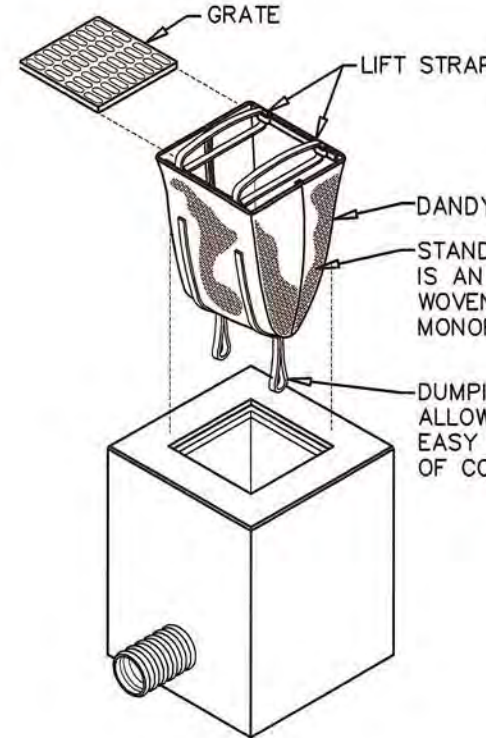
NOT TO SCALE

INSTALLATION:

REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLION IN UNIT. STAND THE GRATE ON END, MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE:

REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG II. IF THE CONTAINMENT AREA IS MORE THAN 1/2 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.



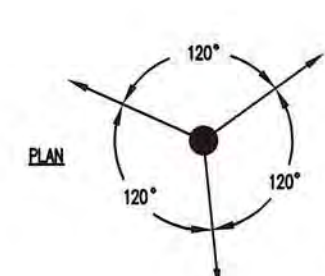
DANDY BAG II

INSTALLATION AND MAINTENANCE GUIDELINES

SILT SACK DETAIL

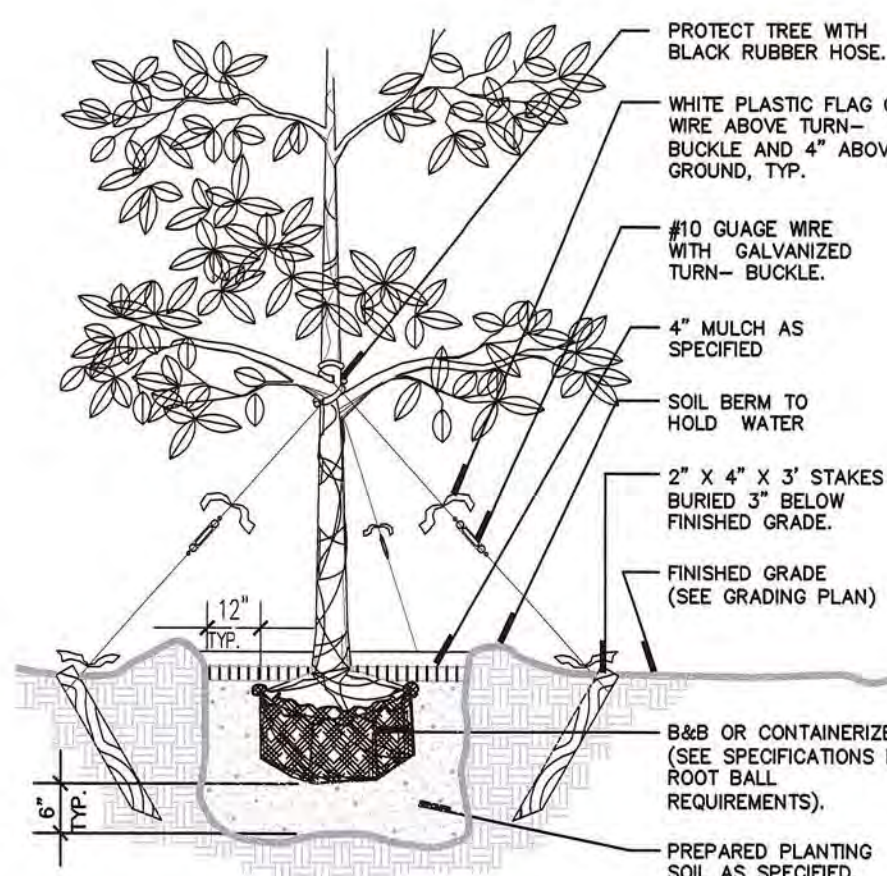
NOT TO SCALE

NOTE: APPLY MULCH IN A 6" DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD.



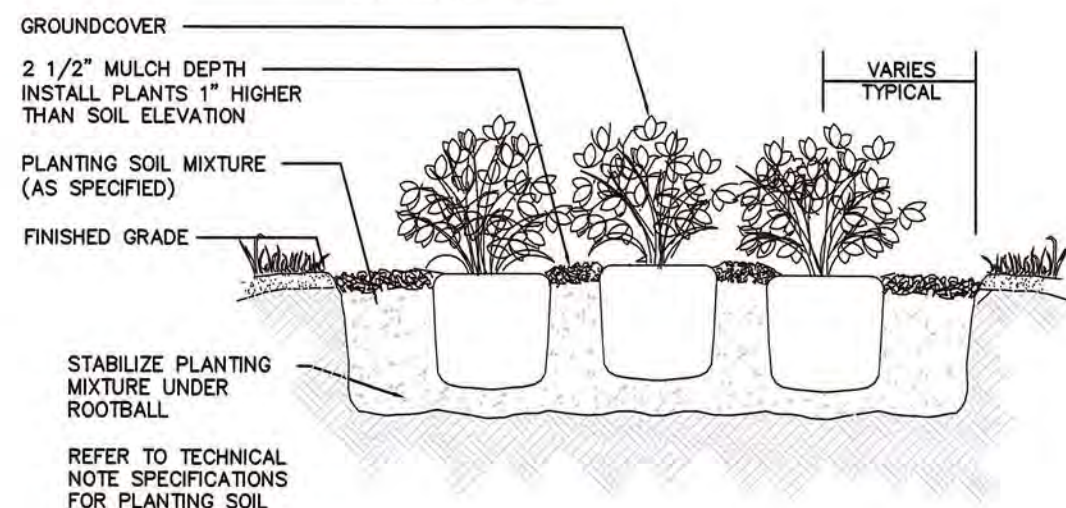
MULCH RING IN SOD AREA DETAIL

NOT TO SCALE



LARGE TREE PLANTING DETAIL

NOT TO SCALE



GROUNDCOVER PLANTING DETAIL

NOT TO SCALE

EROSION CONTROL NOTES:

- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH THE CRITERIA OUTLINED TO PREVENT OR MINIMIZE SOIL EROSION.
- THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL OF THE TOWN OF ROCKLAND, THE STATE OF MASSACHUSETTS AND FEDERAL REGULATIONS IN CONSTRUCTING THE EROSION AND SEDIMENTATION CONTROLS INDICATED ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DRAINAGE SWALES, TEMPORARY SEDIMENT BASINS AND OTHER METHODS TO MANAGE THE STORMWATER RUNOFF ON AND FROM THE SITE DURING THE DURATION OF SITE CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE WHATEVER MEASURES NECESSARY TO ENSURE THAT ALL ROADS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION.
- THE CONTRACTOR SHALL INSPECT AND REPAIR EROSION SEDIMENT CONTROL DEVICES AT THE END OF EACH WORKING DAY AND AFTER EACH STORM.
- ANY EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES WHICH MAY BE SUBJECT TO SEDIMENTATION PROCESSES, INCLUDING CATCH BASINS (GRATES), INLET/OUTLET STRUCTURES, AND OUTFALL AREAS SHALL BE PROTECTED WITH STAKED HAYBALES, CRUSHED STONE FILTERS, OR A SILTS SACKS THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD, AS DIRECTED.
- ALL TEMPORARY SOIL STOCKPILE AREAS AND TRENCH EXCAVATION SPOILS SHALL BE PROTECTED WITH A ROW OF STAKED HAYBALES AND/OR SILT FENCE AND WITH A SPREAD HAY MULCH AND WOVEN NETTING (OR EXCELSDOR EROSION CONTROL MATTING) WHEN LEFT EXPOSED FOR LONG PERIODS OF TIME. ANY SUCH STOCKPILE AREAS SHALL BE PLACED IN AN APPROPRIATE UPLAND LOCATION AND COMPLETELY REMOVED PRIOR TO PROJECT CLOSE-OUT.
- THE EROSION CONTROL MEASURES SHOWN SHOULD BE CONSIDERED MINIMUM STANDARDS.
- A SILT FENCE BARRIER IS TO BE INSTALLED AT THE PROPOSED DOWN GRADIENT TOE OF SLOPE AT ALL LOCATIONS WHERE EARTHWORK IS PROPOSED.
- FILTER FABRIC SHALL BE "MIRAFI 140 N" PHILLIPS "SUPAC S-5" OR APPROVED EQUAL. CONTRACTOR SHALL ADHERE TO MANUFACTURER SPECIFICATIONS FOR PLACEMENT AND INSTALLATION.
- THE CONTRACTOR MUST KEEP ON-SITE, AT ALL TIMES, ADDITIONAL SILT FENCE FOR EMERGENCY INSTALLATION OR FOR INSTALLATION AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE, THE ENGINEER, OR THE TOWN OF ROCKLAND REPRESENTATIVE.
- WHEN SILT HAS BUILT UP TO ONE-HALF THE HEIGHT OF THE EROSION CONTROL, IT IS TO BE REMOVED.
- EXPOSED SLOPES GREATER THAN 50' IN LENGTH ARE TO HAVE HAYBALE CHECK DAMS, TERRACES AND/OR MULCHING INSTALLED IN ORDER TO REDUCE EROSION AND TO ENHANCE SURFACE STABILIZATION. IF CHECK DAMS ARE USED THEY SHOULD BE PLACED APPROXIMATELY 50' O/C, PARALLEL WITH THE FACE OF THE SLOPE.
- AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS. HAYBALES TO BE REMOVED AND DISPOSED OF IN ACCORDANCE TO ALL LOCAL REQUIREMENTS.
- ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION WITHIN 30 DAYS OF COMPLETION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH, BIODEGRADABLE EROSION CONTROL FABRIC, OR HYDROSEEDING WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCIVE TO GERMINATION OF THE SEED.



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Sheet Title:

CONSTRUCTION DETAILS

Project:

PROPOSED COMMERCIAL BUILDING

IN ROCKLAND, MASSACHUSETTS

PREPARED FOR:

ROCKLAND OLD EXIT 14, INC.

#1015 HINGHAM STREET

MAP 4 PARCEL 11

6 3/30/22 UPDATE WITH NEW APPLICANT RMM

5 3/5/21 ADD FENCE RMM

4 11/23/20 MISC. REVISIONS RMM

3 9/30/20 ISSUED FOR BID/PRICING RMM

2 8/17/20 REVISE PER REVIEW COMMENTS RMM

1 5/15/20 DETAIL SHEET ADDED RMM

No. Date Revision Description By

Date: FEBRUARY 19, 2020 Drawn: RMM/ERC/BEI Checked: DFB/AMG Sheet: 6 of 6