

DEFINITIVE PLANNED UNIT DEVELOPMENT
CONCORD MEADOWS
365 CONCORD STREET
ROCKLAND, MA 02370

SITE SUMMARY:

OWNERS AND PARCEL
INFORMATION:

DANIEL G. & CHRISTINE M.
DELPRETE
365 CONCORD STREET
ROCKLAND, MA 02370
ASSESSOR'S PARCEL: 62-35
DEED BOOK:16754, PAGE: 267

DELPRETE REALTY CORP.
365 CONCORD STREET
ROCKLAND, MA 02370
ASSESSOR'S PARCEL: 62-46
BOOK:28919, PAGE: 257
ASSESSOR'S PARCEL: 62-36
DEED BOOK:28919, PAGE: 245

DANIEL DELPRETE
365 CONCORD STREET
ROCKLAND, MA 02370
ASSESSOR'S PARCEL: 62-41&42
BOOK: 48716, PAGE: 32
ASSESSOR'S PARCEL: 62-43&44
BOOK: 37548, PAGE: 217

DEVELOPER:

CONROCK LLC
PO BOX 1414
DUXBURY, MA 02331

APPLICANT:

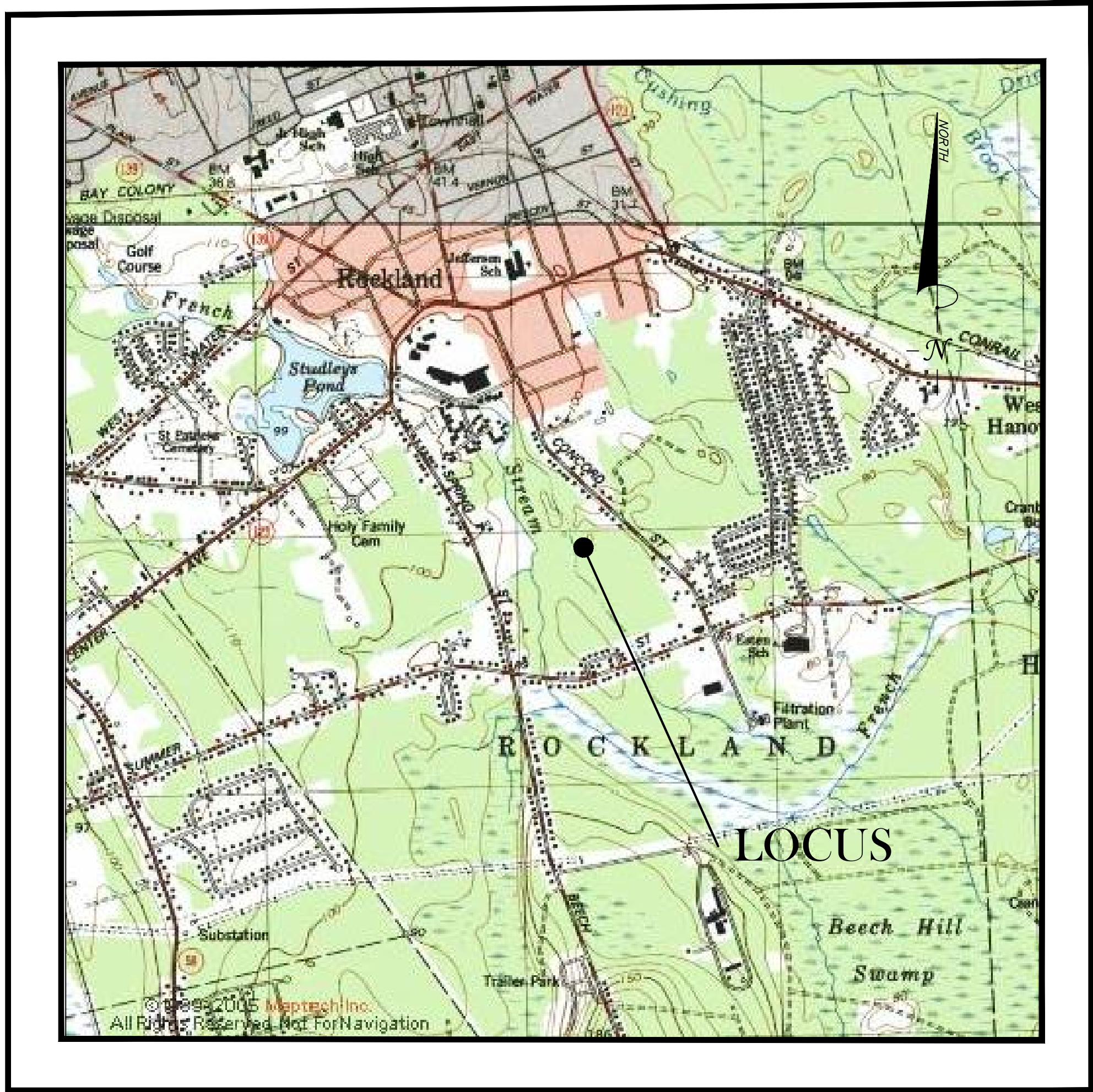
SULLIVAN & COMERFORD, P.C.
80 WASHINGTON STREET
BUILDING B, SUITE 7
NORWELL, MA 02061

ENGINEER AND SURVEYOR:

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MA 02061

ZONING DISTRICT:

RESIDENCE DISTRICT R-1



LOCUS PLAN:

(N.T.S.)

SHEET INDEX:

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FOR REGISTRY USE ONLY

WAIVERS REQUESTED:

TOWN OF ROCKLAND PLANNING BOARD RULES AND
REGULATIONS:

- SECTION I.H.2.A - BUFFER ZONE - MIN. OF 50' FROM ALL EXTERNAL LOT LINES, EXCEPT WHERE FRONTS AN EXTERNAL STREET TO BE KEPT IN NATURAL STATE IF WOODED.
- SECTION I.H.5 - DISTANCE BETWEEN BUILDINGS CALCULATION.
- SECTION III.B.1.F - STREETS - PROPOSED STREETS SHALL INTERSECT EXISTING AND OTHER PROPOSED STREETS AT RIGHT ANGLES FOR A DISTANCE OF 100'.
- TABLE 1, APPENDIX B, STREET DIMENSIONAL REQUIREMENTS- FOR RESIDENTIAL FEEDER STREETS (RES. FEEDER ST. REQUIREMENTS PER DESIGN STD. SECTION III.B.E).
- SECTION III.C.2.E.1 - DRAINAGE STRUCTURES - MINIMUM 2.5 FEET OF COVER SHALL BE REQUIRED OVER DRAIN PIPES.
- SECTION III.B.4.A - DEAD END STREET SHALL NOT PROVIDE ACCESS TO MORE THAN 8 DWELLING UNITS.
- SECTION III.B.4.B - LENGTH OF DEAD-END ROADS SHALL NOT EXCEED 600'.
- SECTION III.C.2.F.10 - BASINS FOR STORMWATER MANAGEMENT SHALL BE LOCATED ON SEPARATE LAND PARCELS.
- SECTION III.C.2.F.12 - BASINS FOR STORMWATER MANAGEMENT SHALL BE LOCATED 50' FROM ADJACENT USES, STRUCTURES AND PROPERTY LINES; AND 30' FROM WETLANDS.
- SECTION IV.H REQUIRES AT LEAST THREE TREES FOR EVERY ONE HUNDRED FEET ON EACH SIDE OF THE ROADWAY.
- SECTION III.C.2.F.8 REQUIRES A MAXIMUM BASIN SIDE SLOPE OF 3:1 (HORIZONTAL TO VERTICAL).
- SECTION III.C.2.F.4 REQUIRES A MINIMUM OF ONE FOOT OF FREEBOARD IN BASINS DURING THE 100-YEAR STORM.

LEGEND		
NOT TO SCALE		
— w — w —	PROPOSED WATER MAIN	
— g — g —	PROPOSED GAS MAIN	
— s — s —	PROPOSED SEWER MAIN	
— t/e/c —	PROPOSED TELEPHONE/ ELECTRIC/CABLE	
— — — — —	FEMA FLOOD ZONE	
W	WETLAND	
①	PROPOSED LOT	
— — — — —	EXISTING CONTOUR LINE	
⊕ HYD	PROPOSED HYDRANT	
○ SMH	PROPOSED SEWER MANHOLE	

DRAWING REVISIONS		
6	12/23/21	CONSERVATION REVIEW COMMENTS
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

SURVEY NOTES:

- LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.
- SURVEY WAS CONDUCTED FROM JANUARY 2012 THRU SEPTEMBER 2021 USING BOTH LEICA ROBOTIC TOTAL STATION AND SOKKIA GPS UNIT.
- VERTICAL CONTROL DATUM NAVD 88 AND HORIZONTAL CONTROL IS MASSACHUSETTS STATE PLANE COORDINATES NAD83.

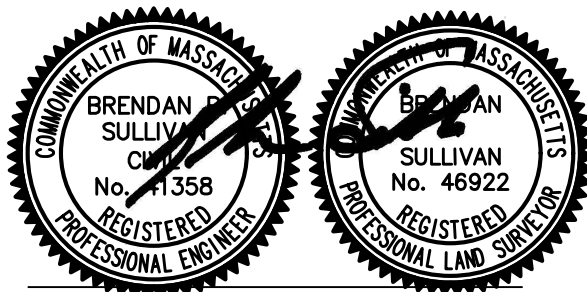
WETLANDS NOTES:

- RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273-0400 ISSUED ON JANUARY 11, 2019.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS AND MASSACHUSETTS LAND COURT.

I CERTIFY THAT THIS PLAN WITH THE WAIVERS HEREIN REQUESTED CONFORMS WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD OF THE TOWN OF ROCKLAND, MASSACHUSETTS UNDER THE SUBDIVISION CONTROL LAW AND ZONING BYLAWS OF THE TOWN OF ROCKLAND.



BRENDAN P. SULLIVAN, P.E., P.L.S.

DATE

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

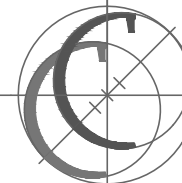
ROCKLAND TOWN CLERK

DATE

TITLE SHEET

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103

DRAWING NO.

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

CHECKED BY : BPS/JCC

SHEET NO. 1 OF 13

FILENAME:

W:\PRJ\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG

TS

OILS EVALUATOR: JOHN CAVANARO P.E., S.E. – Cavanaro Consulting

Date: May 18, 2021

Figure 1 displays four cross-section diagrams (TP No. 1, 2, 3, 4) showing soil profiles with depth, soil types, and groundwater levels.

TP No. 1
 Grnd El. 87.0
 G.W. El. 84.5

Depth	Soil Type	Groundwater Level (G.W. El.)
0'	Ao LOAM	87.0
6"	B Horizon SANDY LOAM	86.5
12"	C1 COARSE SAND	86.0
40"	C2 SILT LOAM	84.5 ∇ 83.7
48"	WEeping / STANDING @ 36" MOTTLES @ 30"	83.0

TP No. 2
 Grnd El. 87.0
 G.W. El. 83.0

Depth	Soil Type	Groundwater Level (G.W. El.)
0'	FILL	87.0
36"	STUMP / FILL LOAMY SAND	84.0
96"	WEeping @ 48" MOTTLES @ 48"	83.0 ∇ 79.0

TP No. 3
 Grnd El. 83.0
 G.W. El. 80.5

Depth	Soil Type	Groundwater Level (G.W. El.)
0'	Ao LOAM	83.0
3"	B Horizon SANDY LOAM	80.5
9"	C1 COARSE SAND	
16"	C2 SILT LOAM	
48"	WEeping 30" MOTTLES @ 30"	

TP No. 4
 Grnd El. 86.5
 G.W. El. 82.5

Depth	Soil Type	Groundwater Level (G.W. El.)
0'	Ao LOAM	86.5
6"	B Horizon LOAMY SAND	82.5
12"	C1 MEDIUM SAND	
84"	WEeping 42" MOTTLES @ 50"	

TP No. 5
 Grnd El. 86.0
 G.W. El. 83.5

Depth	Soil Type	Groundwater Level (G.W. El.)
0'	Ao LOAM	86.0
16"	C1 MEDIUM / COARSE SAND	
54"	WEeping / STANDING @ 48" MOTTLES @ 30"	

OILS EVALUATOR: BRENDAN SULLIVAN P.E., S.E. – Cavanaro Consulting

Date: August 31, 2021

TP No. 1A
Grnd. El. 87.2
G.W. El. 83.9

Depth	Soil Type	Moisture Content (%)
0"	Ao LOAM	87.2
8"	B Horizon SANDY LOAM	86.5
15"	C1 MEDIUM SAND	86.0
36"	C2 SILT LOAM	84.2
	WEEPING / STANDING MOTTLES @ 40"	83.0 ∇
	MOTTLES @ 40"	82.2
60"		

TP No. 2A
Grnd. El. 86.3
G.W. El. 80.9

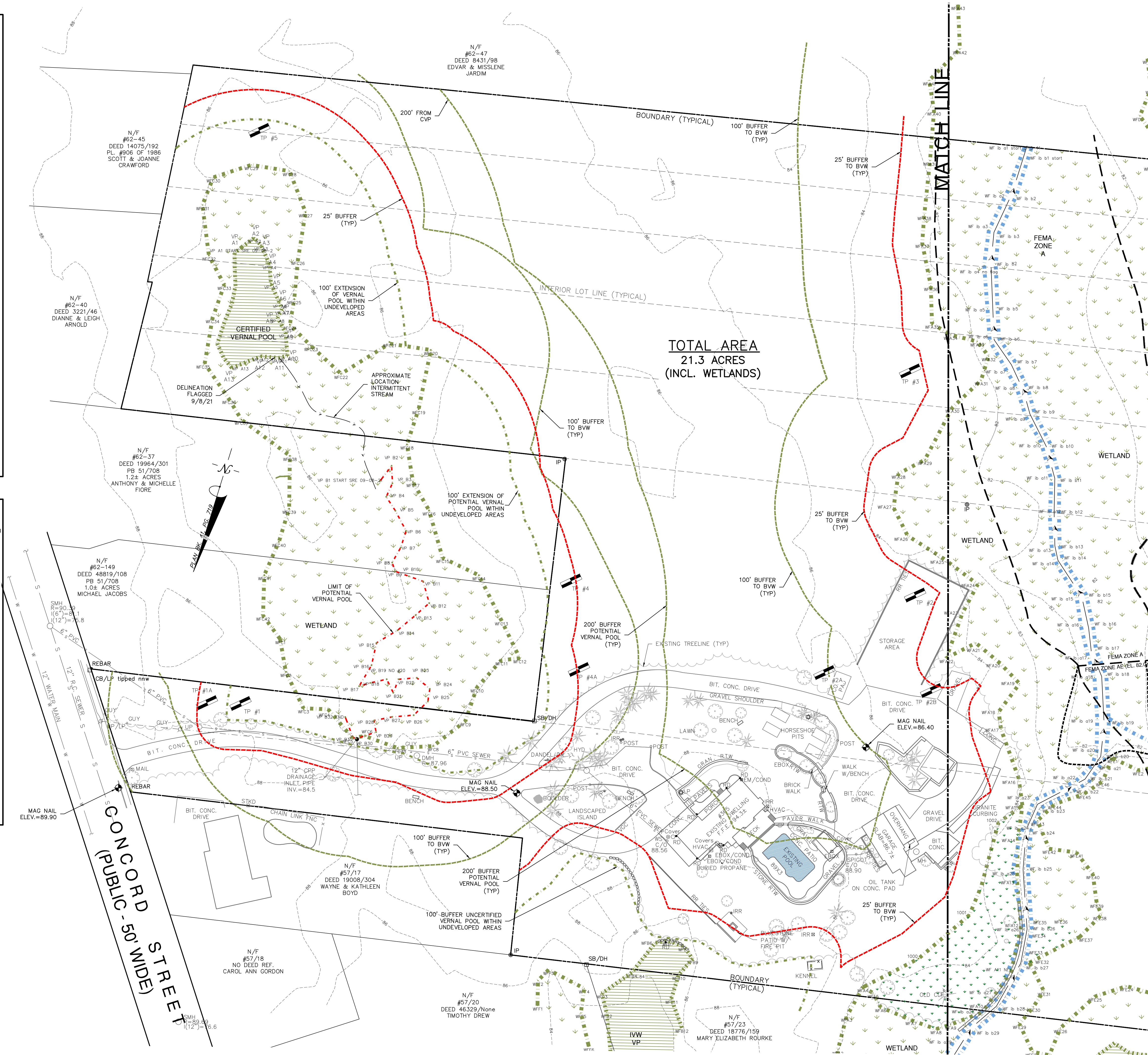
Depth	Soil Type	Moisture Content (%)
0"	Ao LOAM	86.3
10"	B Horizon LOAMY SAND	85.5
20"	C1 COARSE SAND	84.6
65"	WEEPING @ 55" MOTTLES @ 65"	80.9 ∇
	C2 SILT LOAM	79.6
80"		

TP No. 2B
Grnd. El. 84.8
G.W. El. 79.4

Depth	Soil Type	Moisture Content (%)
0"	FILL	84.8
24"	C1 COARSE SAND	82.8
65"	C2 SILT LOAM	79.4
85"	WEEPING 60" MOTTLES @ 65"	77.7

TP No. 4A
Grnd. El. 86.5
G.W. El. 83.2

Depth	Soil Type	Moisture Content (%)
0"	Ao LOAM	86.5
9"	B Horizon LOAMY SAND	83.2
18"	C1 MEDIUM SAND	
40"	WEEPING 40" MOTTLES @ 40"	
84"	C2 SILT LOAM	



DRAWING REVISIONS

6	12/23/21	CONSULTANT NOI REVIEW COMMENTS
5	11/30/21	CONSULTANT NOI REVIEW COMMENTS
4	9/23/21	CONSULTANT NOI REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.
2. SURVEY WAS CONDUCTED FROM JANUARY 2012 THRU SEPTEMBER 2021 USING BOTH LEICA ROBOTIC TOTAL STATION AND SOKKIA GPS UNIT.
3. VERTICAL CONTROL DATUM NAVD 88 AND HORIZONTAL CONTROL IS MASSACHUSETTS STATE PLANE COORDINATES NAD83.

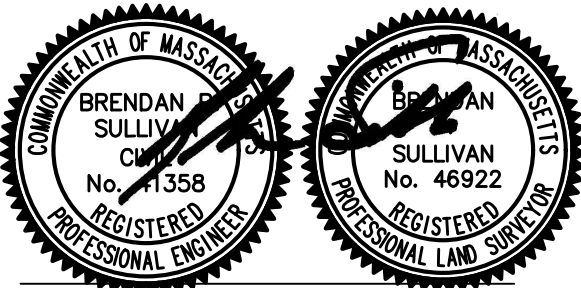
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BRENDAN P. SULLIVAN, P.E., P.L.S.

12/23/2021

DATE _____

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED:

I HEARBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS
BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK

DATE _____

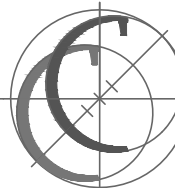
SCALE: 1" = 40'



EXISTING CONDITIONS 1

CAVANARO CONSULTING

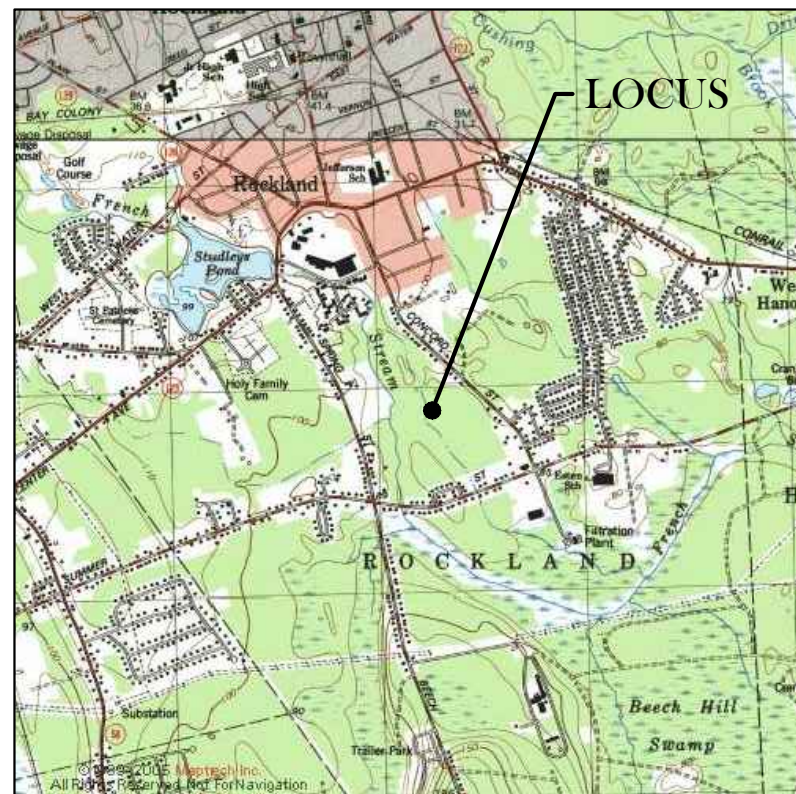
**687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186**



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	EC1
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	
CHECKED BY : BPS/JCC	SHEET NO. 2 OF 13
FILENAME: W:\P\2019\19.103\DWG\063\063.DWG\063.DWG	



LOCUS: CONCORD STREET - ROCKLAND, MA



6

12/23/21

CONSERVATION REVIEW COMMENTS

5

11/30/21

CONSERVATION REVIEW COMMENTS

4

9/23/21

CONSERVATION REVIEW COMMENTS

3

8/9/21

REVIEW COMMENTS

2

7/15/21

CONSERVATION

1

6/21/21

REVIEW ENGINEER COMMENTS

ACTION

DATE

DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 2502300181K DATED JULY 6, 2021.

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COMMONWEALTH OF MASSACHUSETTS

BRENDAN P. SULLIVAN

PROFESSIONAL ENGINEER

No. 1358

COMMONWEALTH OF MASSACHUSETTS

BRENDAN P. SULLIVAN

PROFESSIONAL LAND SURVEYOR

No. 46922

12/23/2021

DATE

APPROVED BY

ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

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ROCKLAND TOWN CLERK _____ DATE _____

SCALE: 1" = 40'

0' 20' 40' 80' 120'

PLANNED UNIT DEVELOPMENT 1

CAVANARO CONSULTING

687 MAIN STREET

P.O. BOX 5175

NORWELL, MASSACHUSETTS 02061

PHONE: 781.659.8187

FAX: 781.659.8186

CONCORD MEADOWS DEFINITIVE PUD PLAN

365 CONCORD STREET

ROCKLAND, MA 02370

PREPARED FOR: CONROCK LLC

P.O. BOX 1414

DUXBURY, MA 02331

PROJECT NO. : 19.103

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

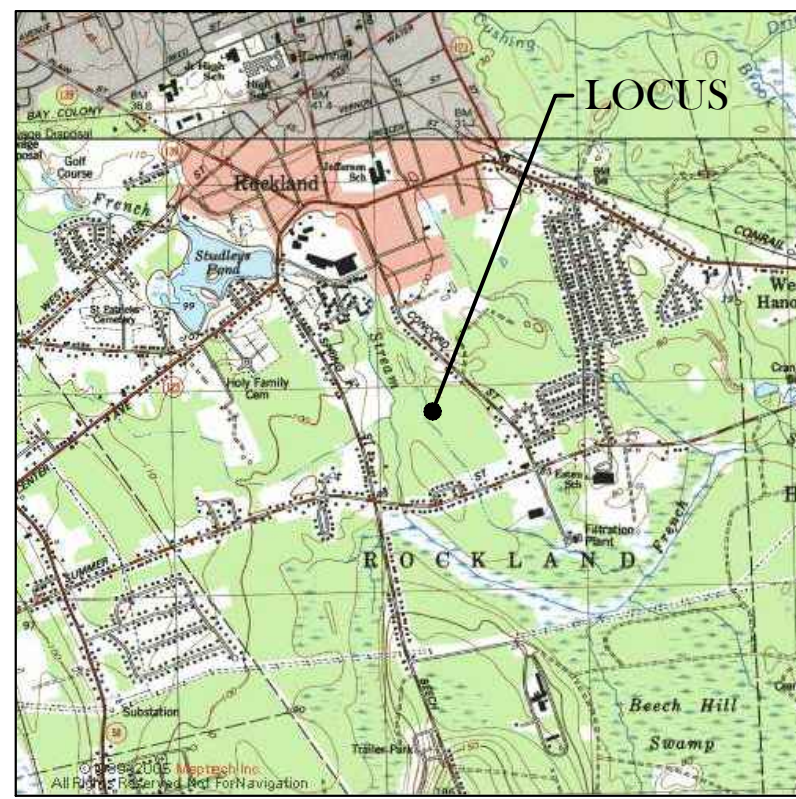
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DRAWING NO.

PUD

SHEET NO. 4 OF 13

FILENAME: W:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG



LOCUS: CONCORD STREET - ROCKLAND, MA



DRAWING REVISIONS

NO.	DATE	DESCRIPTION
6	12/23/21	CONSERVATION REVIEW COMMENTS
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APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

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ROCKLAND TOWN CLERK _____ DATE _____

SCALE: 1" = 40'

0' 20' 40' 80' 120'

LAYOUT AND GRADING

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
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CONCORD MEADOWS
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365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:
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P.O. BOX 1414
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DESIGNED BY : CCH

DRAWN BY : CCH/MCM

CHECKED BY : BPS/JCC

DRAWING NO.

LG

SHEET NO. 5 OF 13

FILENAME:
W:\V\19\19.103\DWG\DEF.SUB\DEF.ECON.DWG



CONCORD STREET
(PUBLIC - 50' WIDE)

EXISTING
SMH

CUT AND CAP
EXISTING 6"
WATER SERVICE
PER TOWN OF
ROCKLAND
SPECIFICATIONS

CONNECT TO
EXISTING
WATER MAIN
PER TOWN
SPECIFICATIONS

CONNECT TO EXISTING
SEWER MAIN
WITH NEW MANHOLE
PER TOWN
SPECIFICATIONS (SEE
SEWER NOTES)
P-SMH 1
RIM=90.0+
EX. INV. (12")=76.2±
PR. INV. (8")=82.3

LEGEND
NOT TO SCALE

W	W	PROPOSED WATER MAIN
		PROPOSED GAS MAIN
		PROPOSED SEWER MAIN
T/E/C		PROPOSED TELEPHONE/ ELECTRIC/CABLE
---		FEMA FLOOD ZONE
		WETLAND
①		PROPOSED PUD LOT
80		CONTOUR LINE
○-HYD		HYDRANT
○SMH		SEWER MANHOLE



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UTILITIES

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
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DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370**

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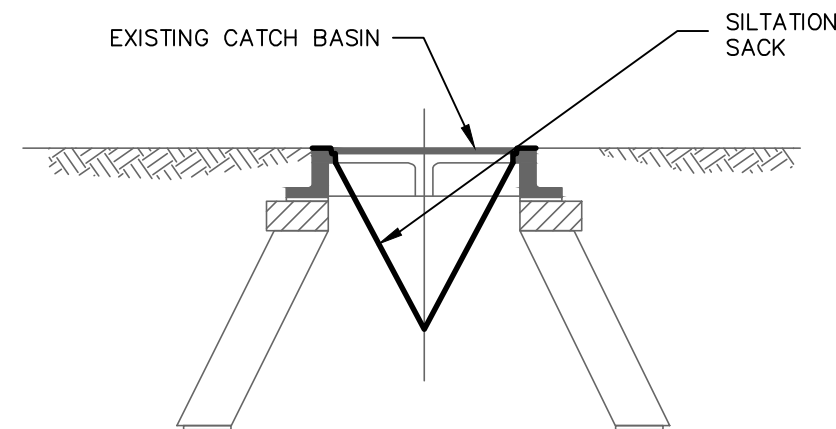
SCALE : AS SHOWN

DATE : 7/12/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM **SHEET NO.** 6 OF 13

CHECKED BY : BPS/JCC	FILENAME: W:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECD
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NOT TO SCALE

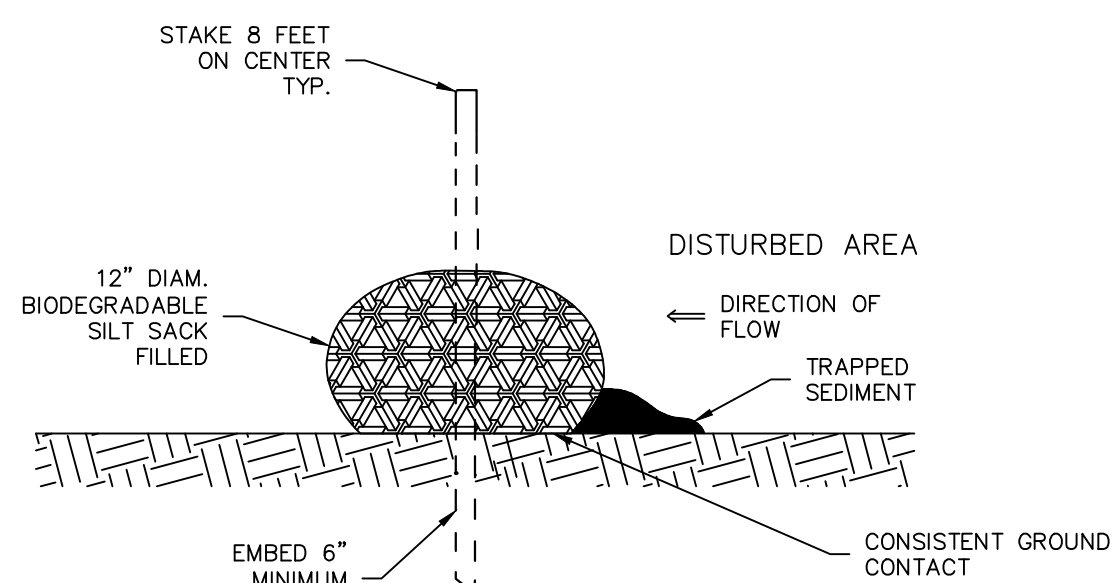
SILT SACK NOTES:

INSTALL SILTSACK IN ALL CATCH BASINS ADJACENT TO PROJECT VICINITY.

GRATE TO BE PLACED OVER SILTSACK.

SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

CATCH BASIN SEDIMENTATION DETAIL



PROPOSED SILT SOCK

NOT TO SCALE

SILT SOCK NOTES:

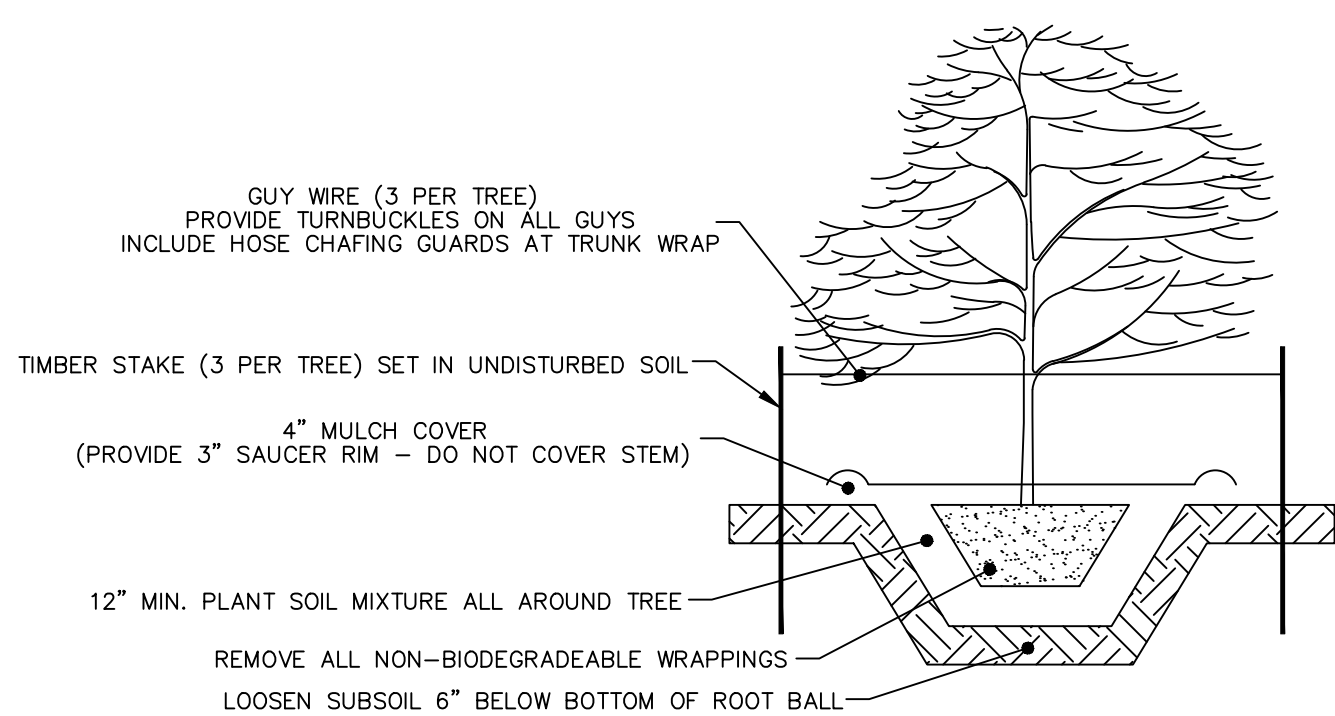
OVERLAP ENDS 2 FEET STAKED MINIMUM 8 FEET CENTER TO CENTER AND 6" MINIMUM DEPTH.

SILT SOCKS SHALL BE PLACED IN A ROW WITH ENDS LAPPING MINIMUM 2 FEET.

SILT SOCKS SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVING EVERY 8 L.F.

INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MAKE PROMPTLY AS REQUIRED.

SILT SOCKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

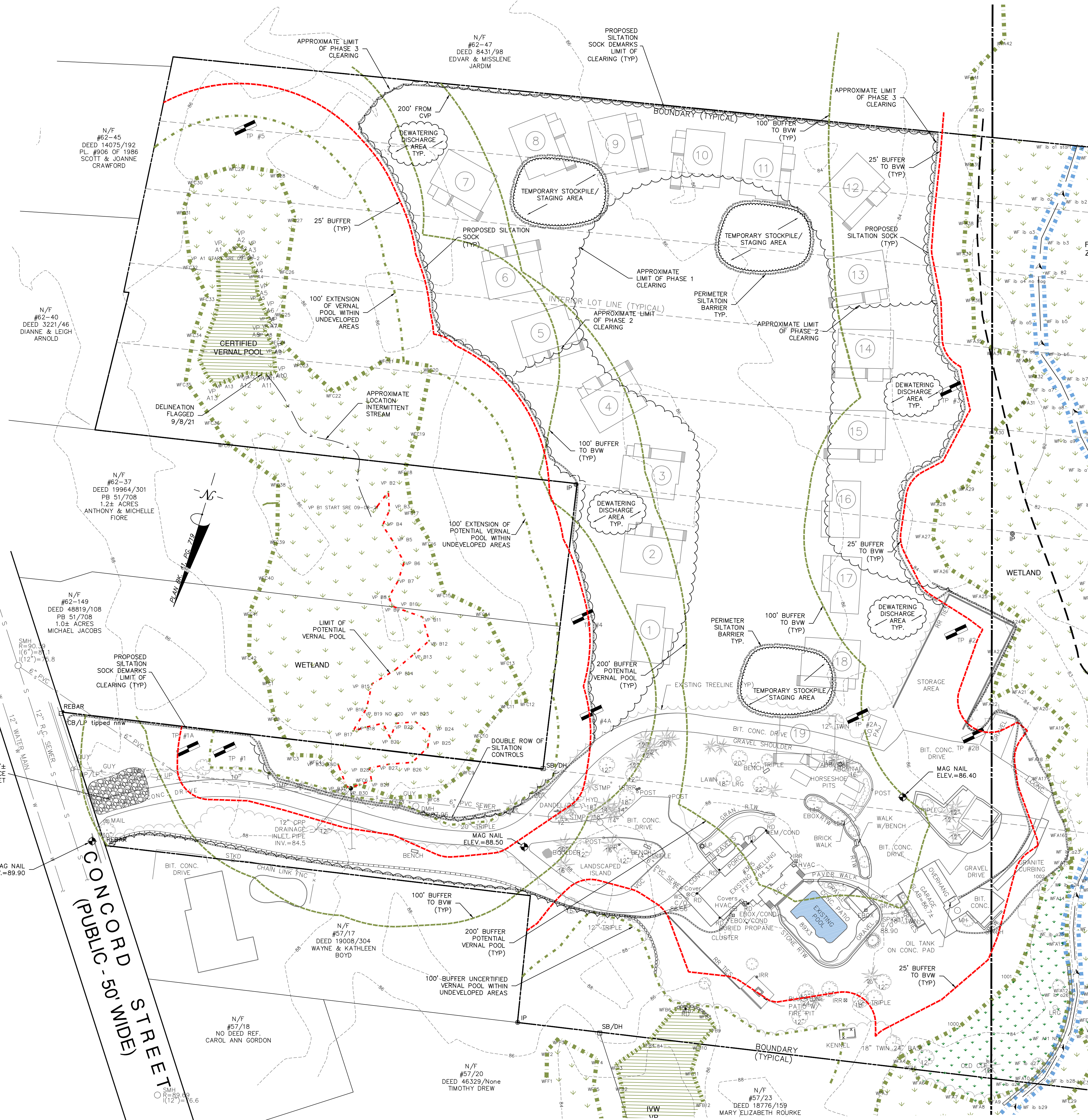


TREE PLANTING DETAIL

NOT TO SCALE

NOTE:

NEW TREES SHOULD ALSO BE SPECIFIED TO HAVE A MINIMUM HEIGHT OF TWELVE FEET WITH EIGHT FOOT HEAD CLEARANCE AND THREE INCH CAULPER AT 42 INCHES ABOVE GROUND.



DRAWING REVISIONS

ACTION	DATE	DESCRIPTION
6	12/23/21	CONSERVATION REVIEW COMMENTS
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 2502330181K DATED JULY 6, 2021.

WETLANDS NOTES:

1. RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273-0400 ISSUED ON JANUARY 11, 2019.

GENERAL NOTES:

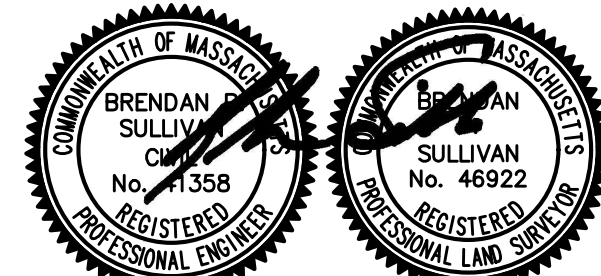
ALL INFILTRATION/DETENTION BASIN AREAS SHALL BE STAKED TO AVOID HEAVY MACHINERY.

ALL STOCKPILES SHALL HAVE PERIMETER ROW OF SILTATION SOCK 3 FEET OFF TOE OF SLOPE.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

I CERTIFY THAT THIS PLAN CONFORMS WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS AND MASSACHUSETTS LAND COURT.

I CERTIFY THAT THIS PLAN WITH THE WAIVERS HEREIN REQUESTED CONFORMS WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD OF THE TOWN OF ROCKLAND, MASSACHUSETTS UNDER THE SUBDIVISION CONTROL LAW AND ZONING BYLAWS OF THE TOWN OF ROCKLAND.



BRENDAN P. SULLIVAN, P.E., P.L.S.

12/23/2021

DATE

APPROVED BY ROCKLAND PLANNING BOARD

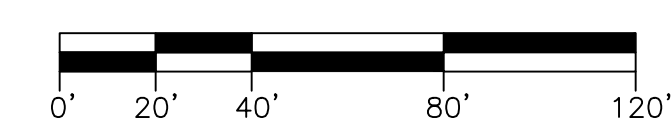
DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK _____ DATE _____

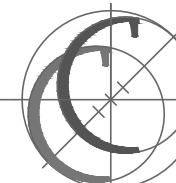
SCALE: 1" = 40'



EROSION CONTROL

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS DEFINITIVE PUD PLAN 365 CONCORD STREET ROCKLAND, MA 02370

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

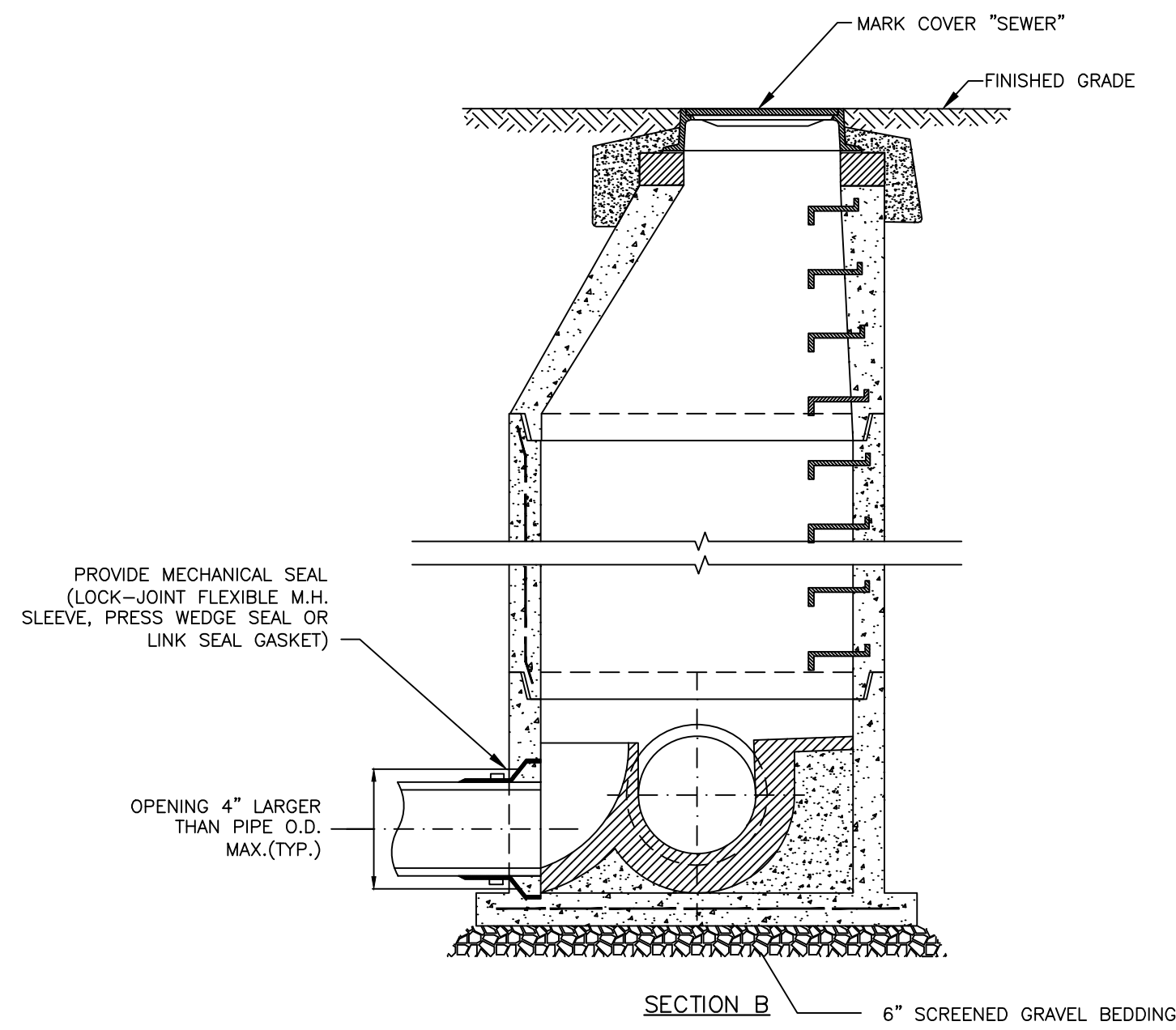
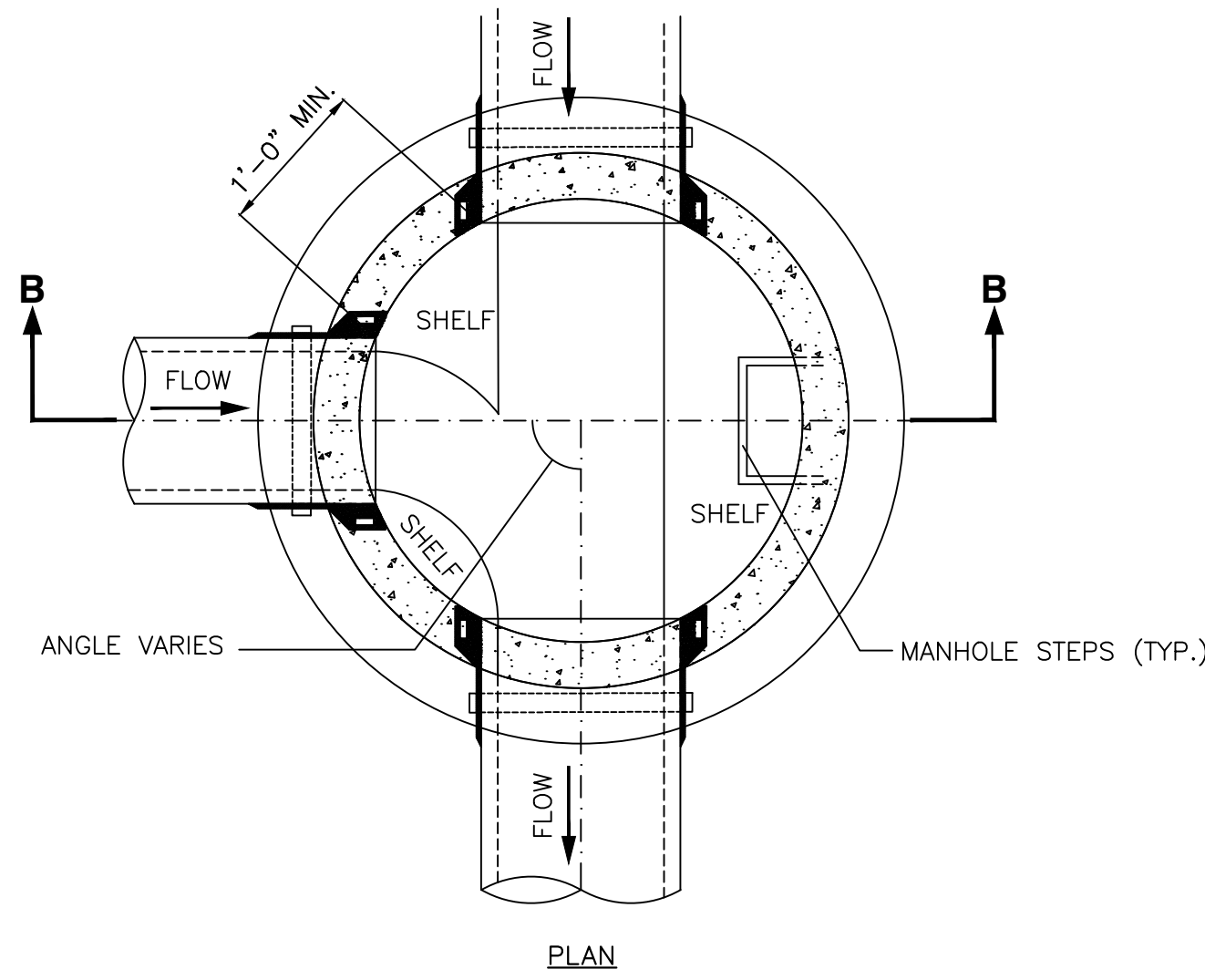
CHECKED BY : BPS/JCC

DRAWING NO.

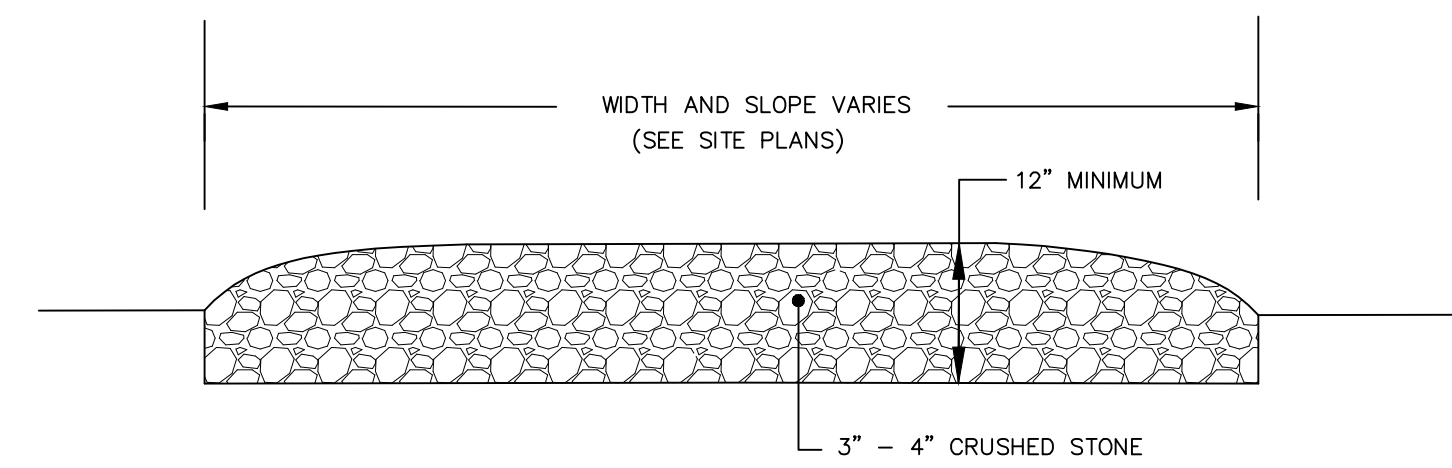
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SHEET NO. 8 OF 13

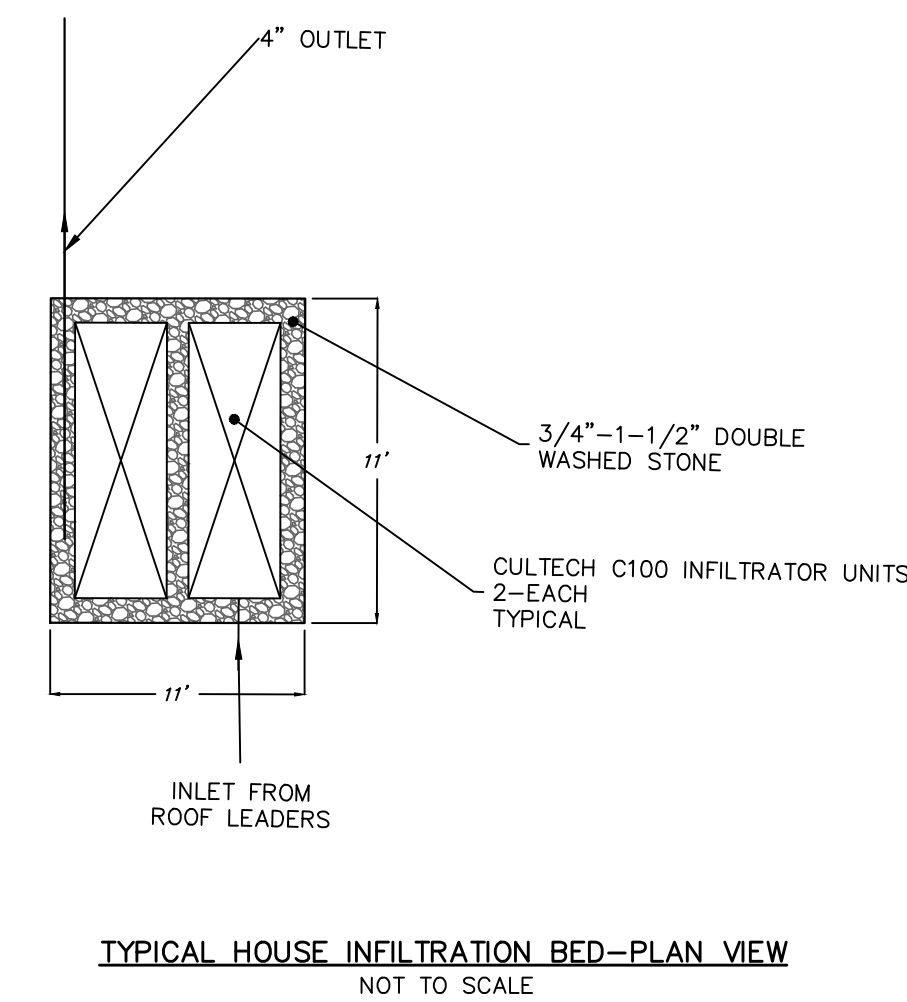
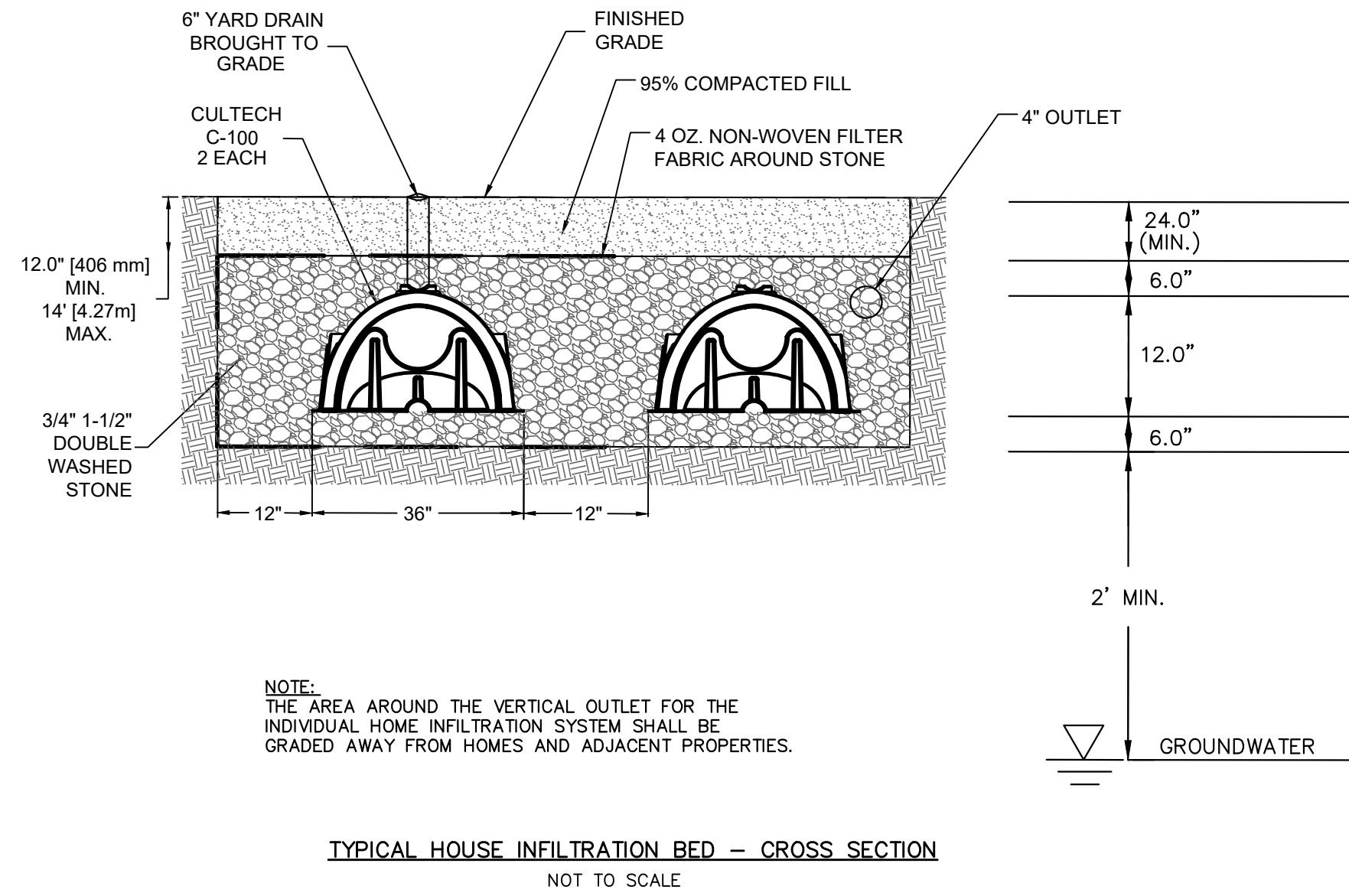
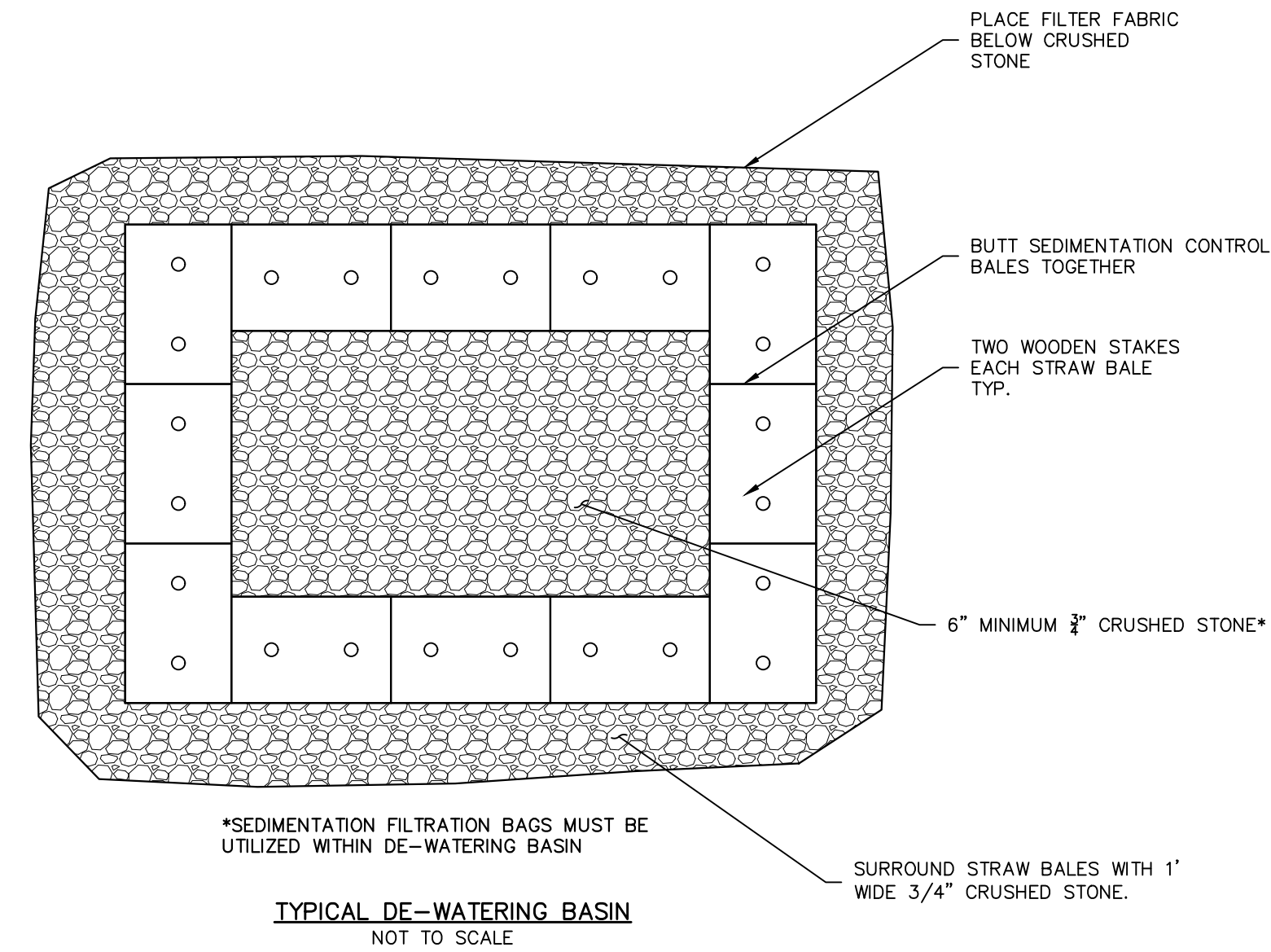
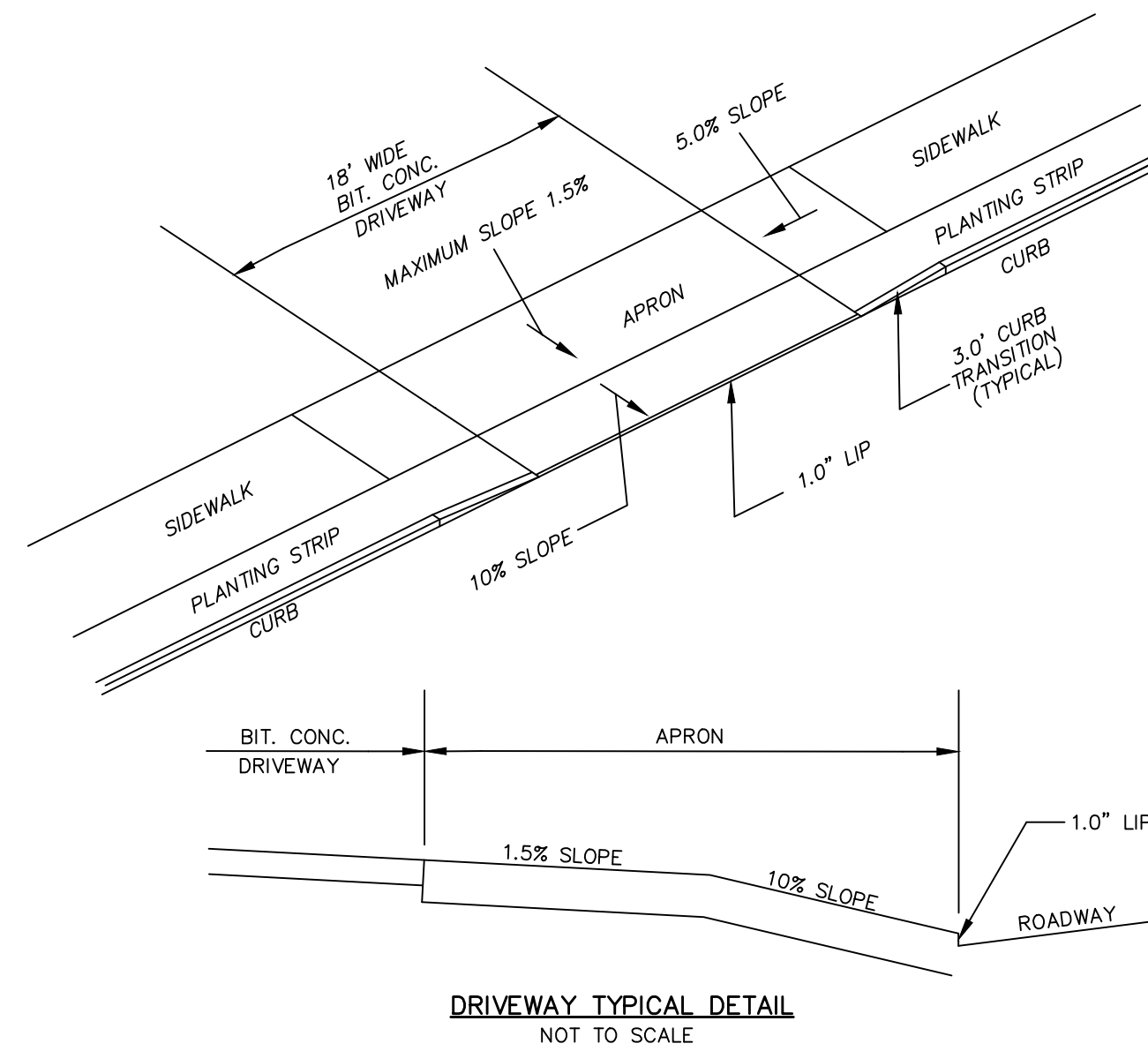
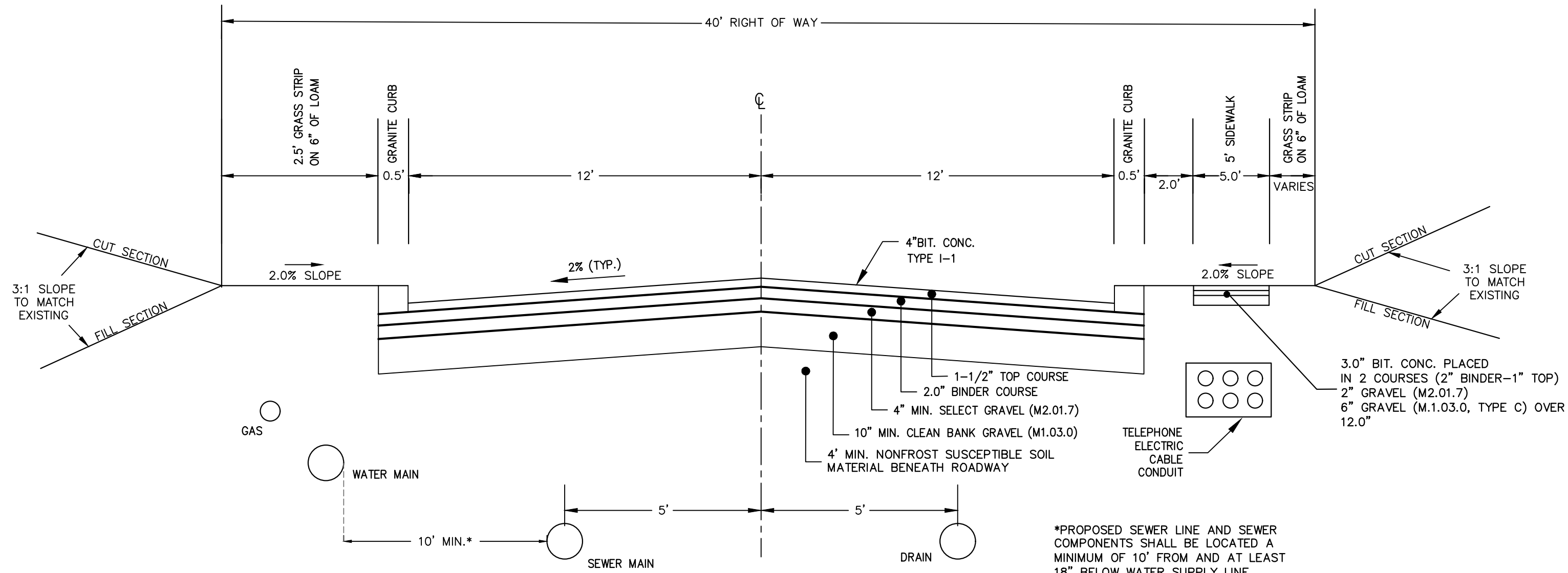
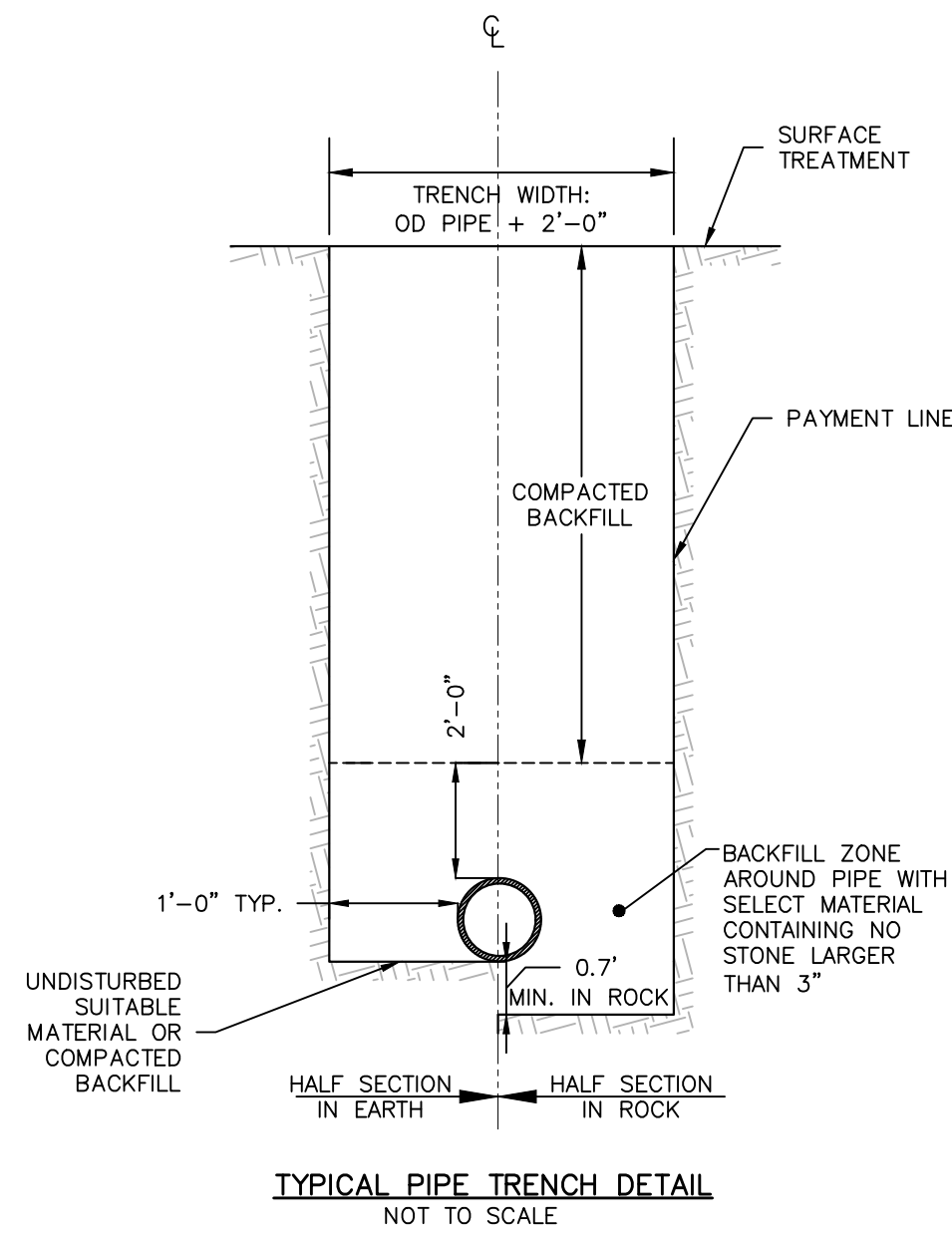
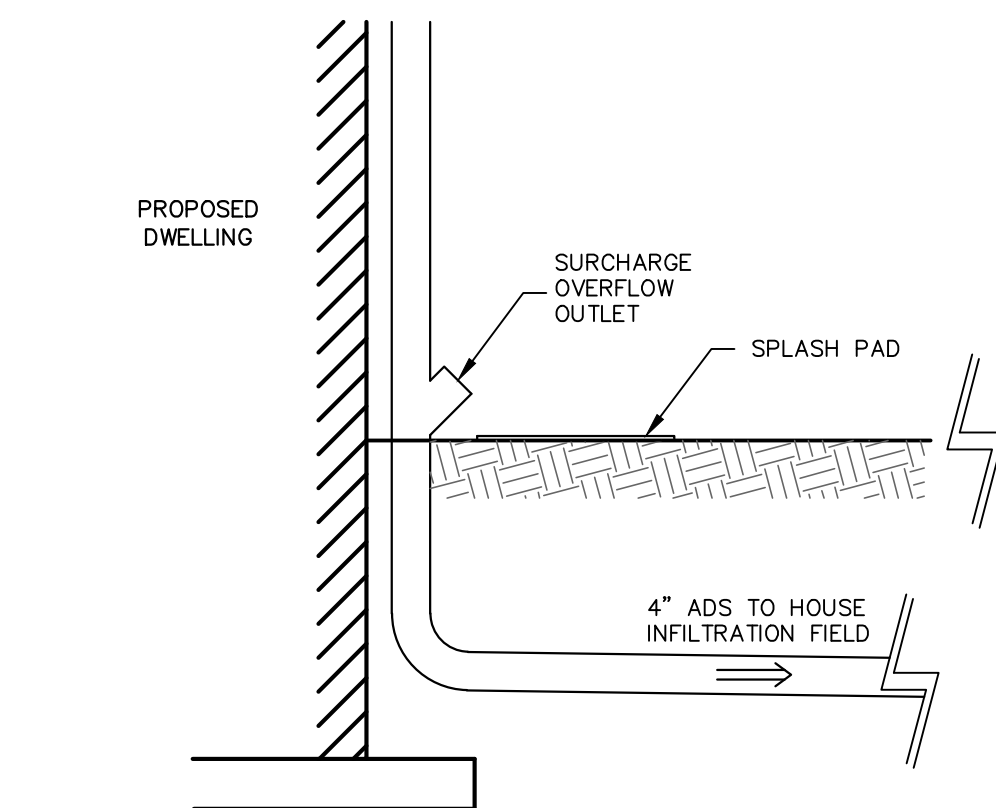
FILENAME:
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PRECAST CONCRETE SEWER MANHOLE
N.T.S.



FOR REGISTRY USE ONLY



DRAWING REVISIONS

ACTION	DATE	DESCRIPTION
6	12/23/21	CONSERVATION REVIEW COMMENTS
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
3	8/9/21	REVIEW COMMENTS
2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.

WETLANDS NOTES:

1. RESOURCE AREAS SHOWN HEREON WERE APPROVED BY AN ORDER OF RESOURCE AREA DELINEATION BY THE ROCKLAND CONSERVATION COMMISSION, SE 273-0400 ISSUED ON JANUARY 11, 2019.

I CERTIFY THAT THE SURVEY PERFORMED CONFORMS TO THE TECHNICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING SET FORTH IN 250 CMR SECTION 6.01 AND 6.02.

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APPROVED BY ROCKLAND PLANNING BOARD

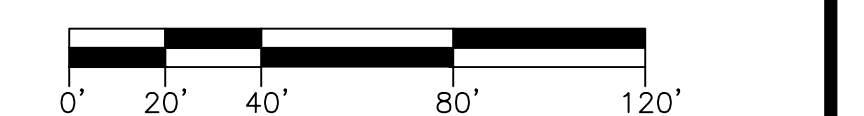
DATE: _____

SIGNED: _____

I HERBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

ROCKLAND TOWN CLERK DATE

SCALE: 1" = 40'



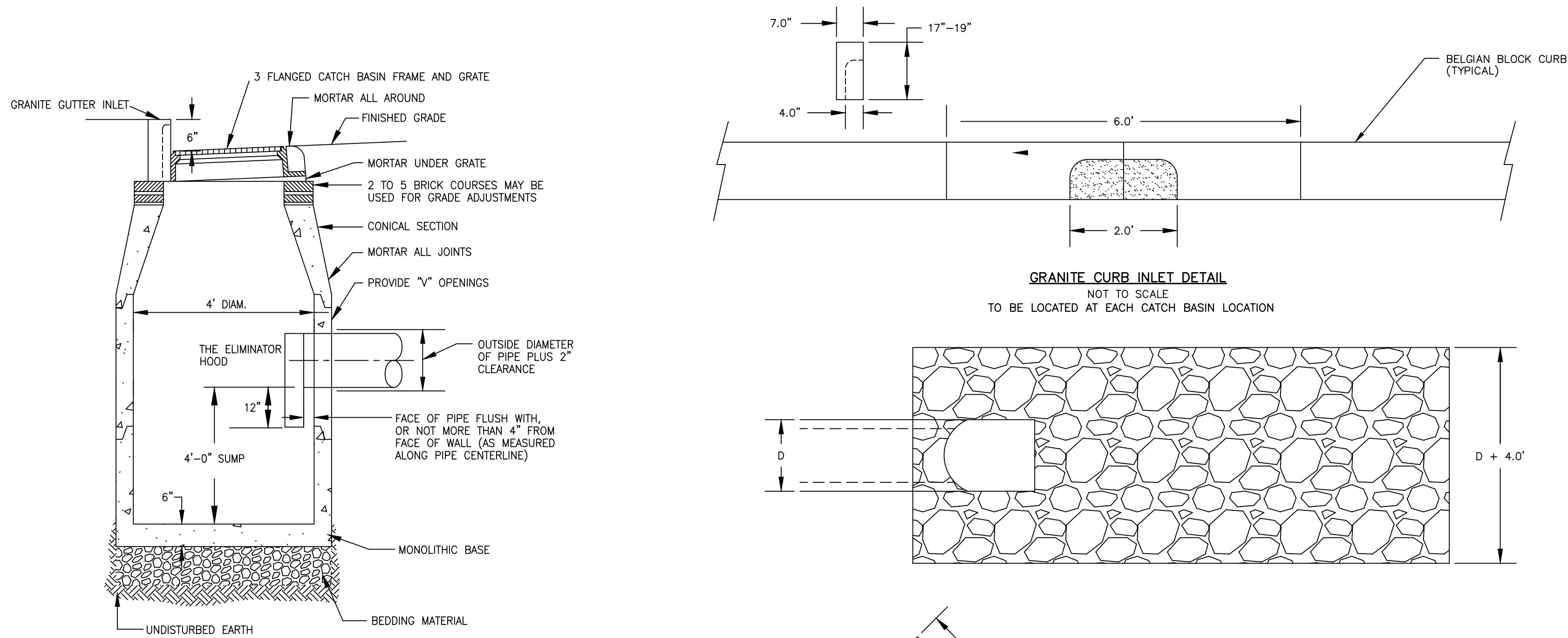
DETAIL SHEET 1

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186

**CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370**

PREPARED FOR:
CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO.
SCALE : AS SHOWN	DT1
DATE : 6/1/21	
DESIGNED BY : CCH	SHEET NO. 9 OF 13
DRAWN BY : CCH/MCM	
CHECKED BY : BPS/JCC	FILENAME: w:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG

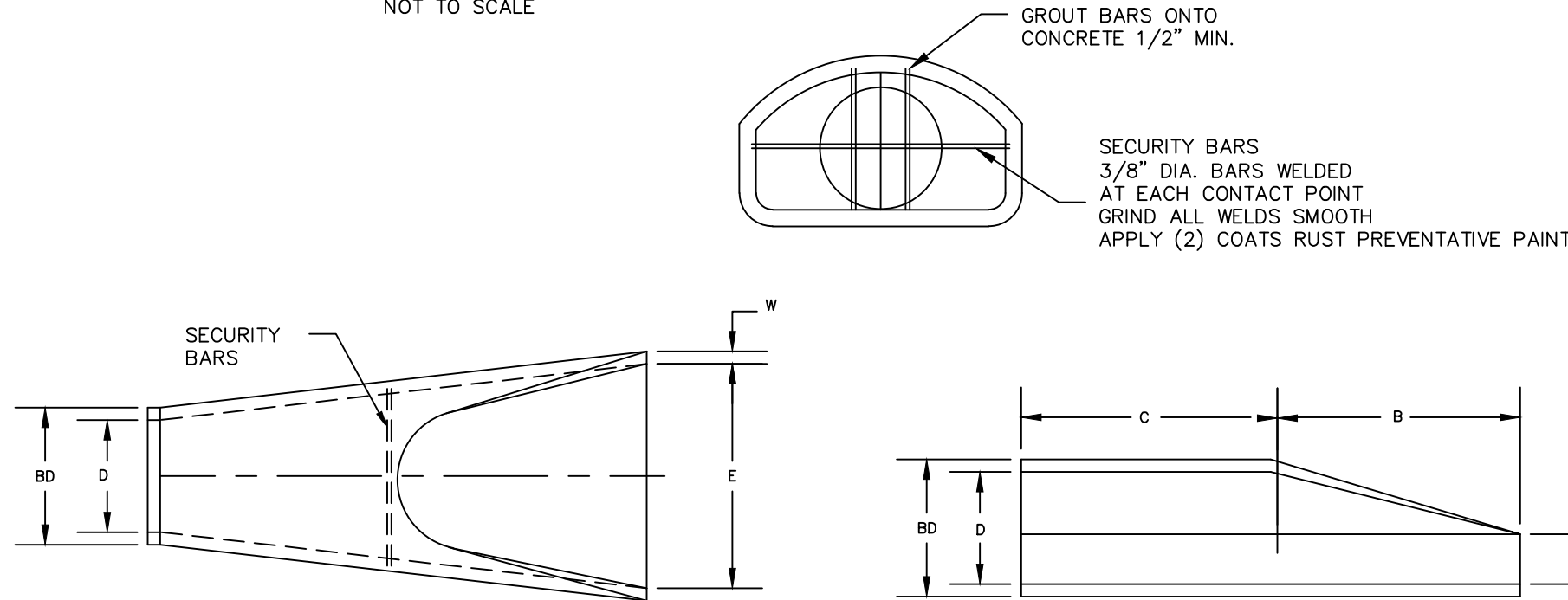


CATCH BASIN NOTES:

1. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISIONS OF MASSDOT STANDARD DETAILS AND MHD SPECIFICATIONS.

DEEP SUMP CATCH BASIN

NOT TO SCALE



FLARED END DIMENSIONS								
DIAMETER	A	B	BD	C	D	E	W	
12"	4"	2'	1.3'	4'	1.0'	2.0'	2"	
18"	9.0"	3.3'	1.9'	2.8'	1.5'	3.0'	2.5"	

PLAN - OUTLET

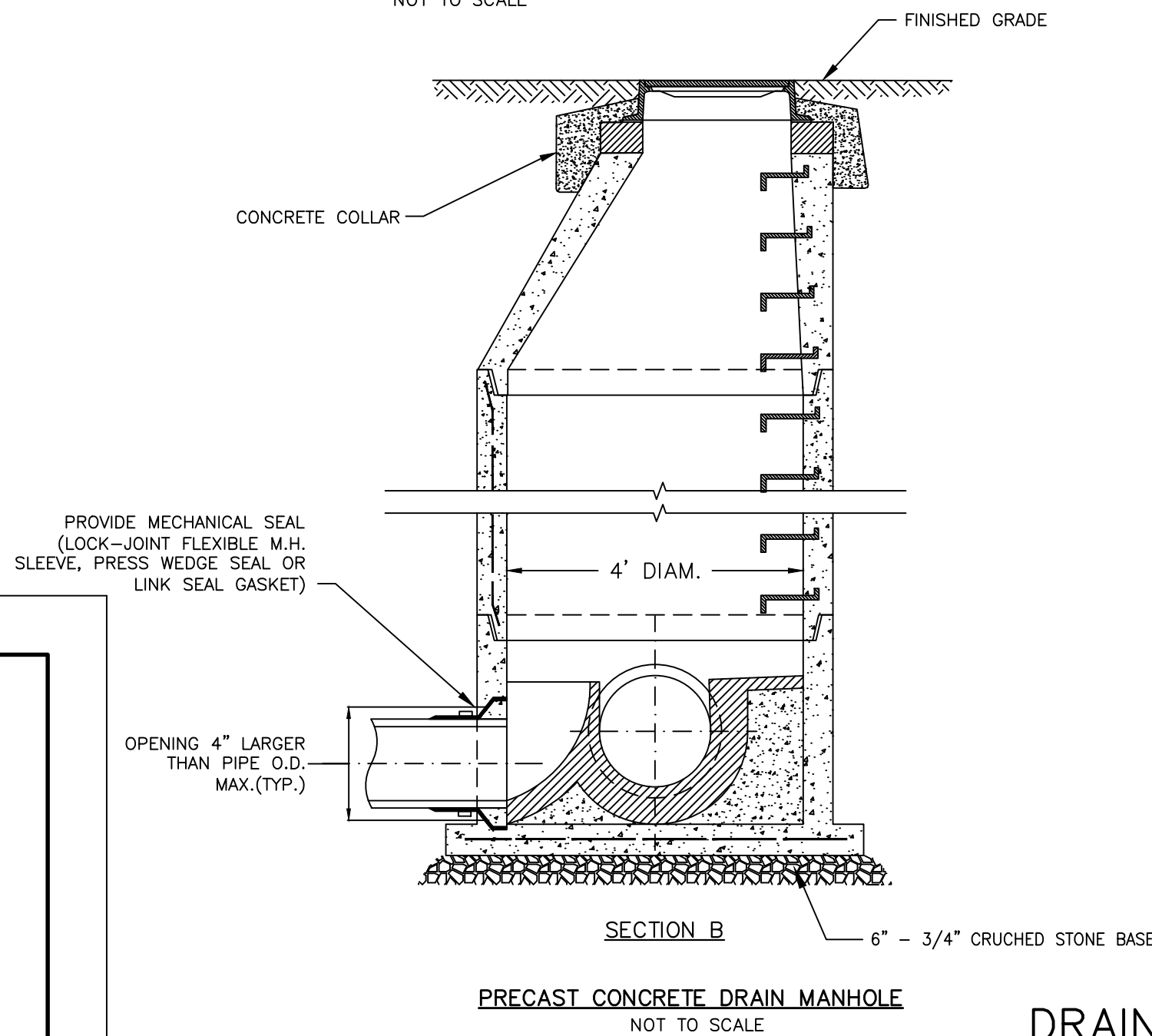
NOT TO SCALE

NOTES:

1. FLARED END SECTION MUST COMPLY WITH MASS HIGHWAY SPECIFICATIONS FOR MATERIAL AND CONSTRUCTION OF FLARED END SECTIONS.

PRECAST CONCRETE FLARED END DETAIL

NOT TO SCALE



DRAINAGE MANHOLE NOTES:

1. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISIONS OF MASSDOT STANDARD DETAILS AND MHD SPECIFICATIONS. FIELD CHIPPING OR CUTTING OF PRECAST CONCRETE MANHOLES SHALL BE WITNESSED AND APPROVED BY THE BOARD.

2. MANHOLE COVERS SHALL HAVE THE WORD "DRAIN" IMPRINTED THEREON WITH LETTERS 3 INCHES HIGH.

DRAINAGE DETAILS

HYDRANT NOTES:

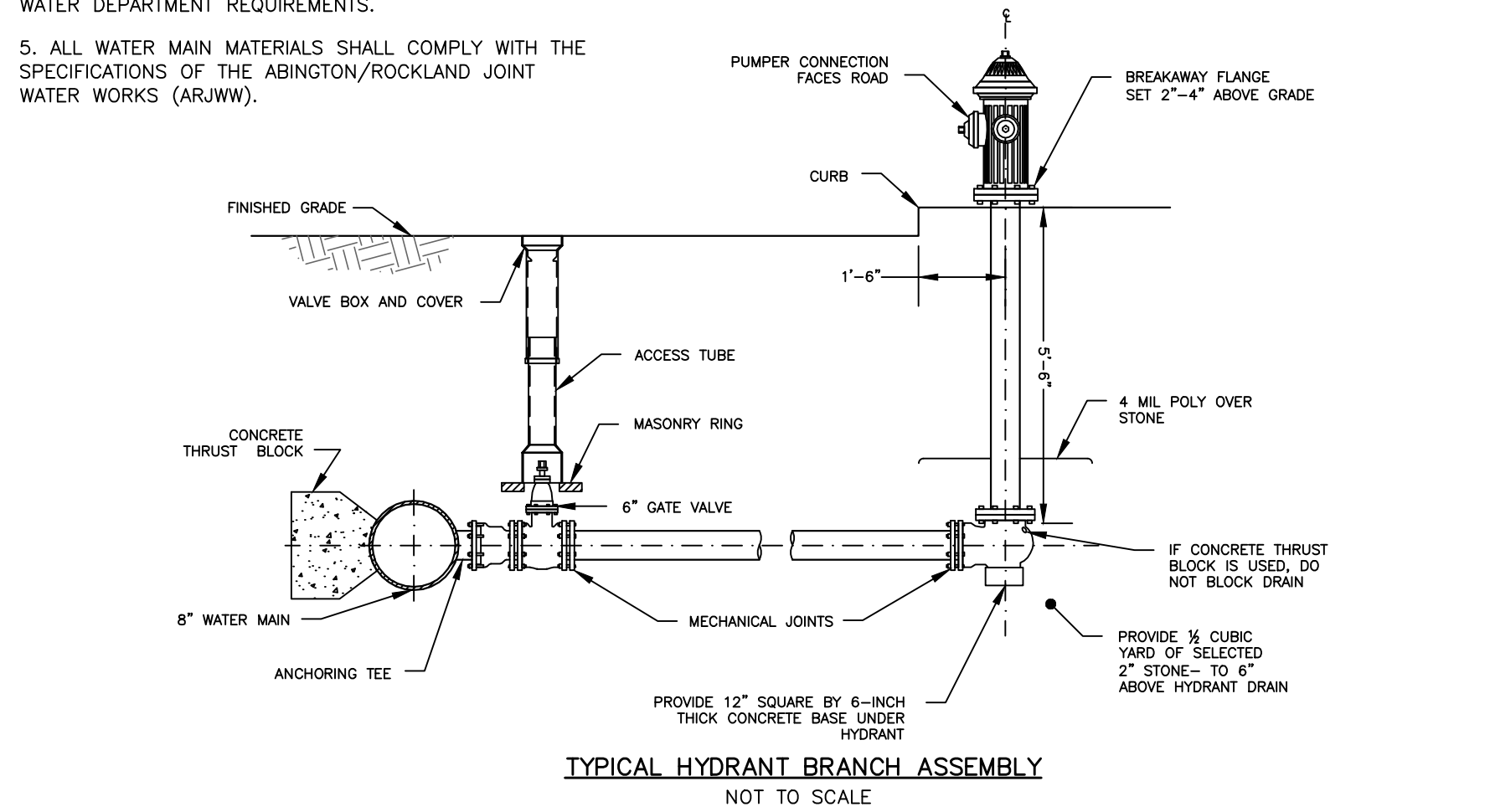
1. CONCRETE THRUST BLOCK TO BE USED ONLY WHERE IT WILL BEAR ON UNDISTURBED EARTH.

2. USE RESTRAINED JOINT FITTINGS (MEGALUG OR APPROVED EQUAL) WHERE CONCRETE THRUST BLOCK IS UNACCEPTABLE.

3. USE MUELLER FITTINGS AND HYDRANTS OR APPROVED EQUAL.

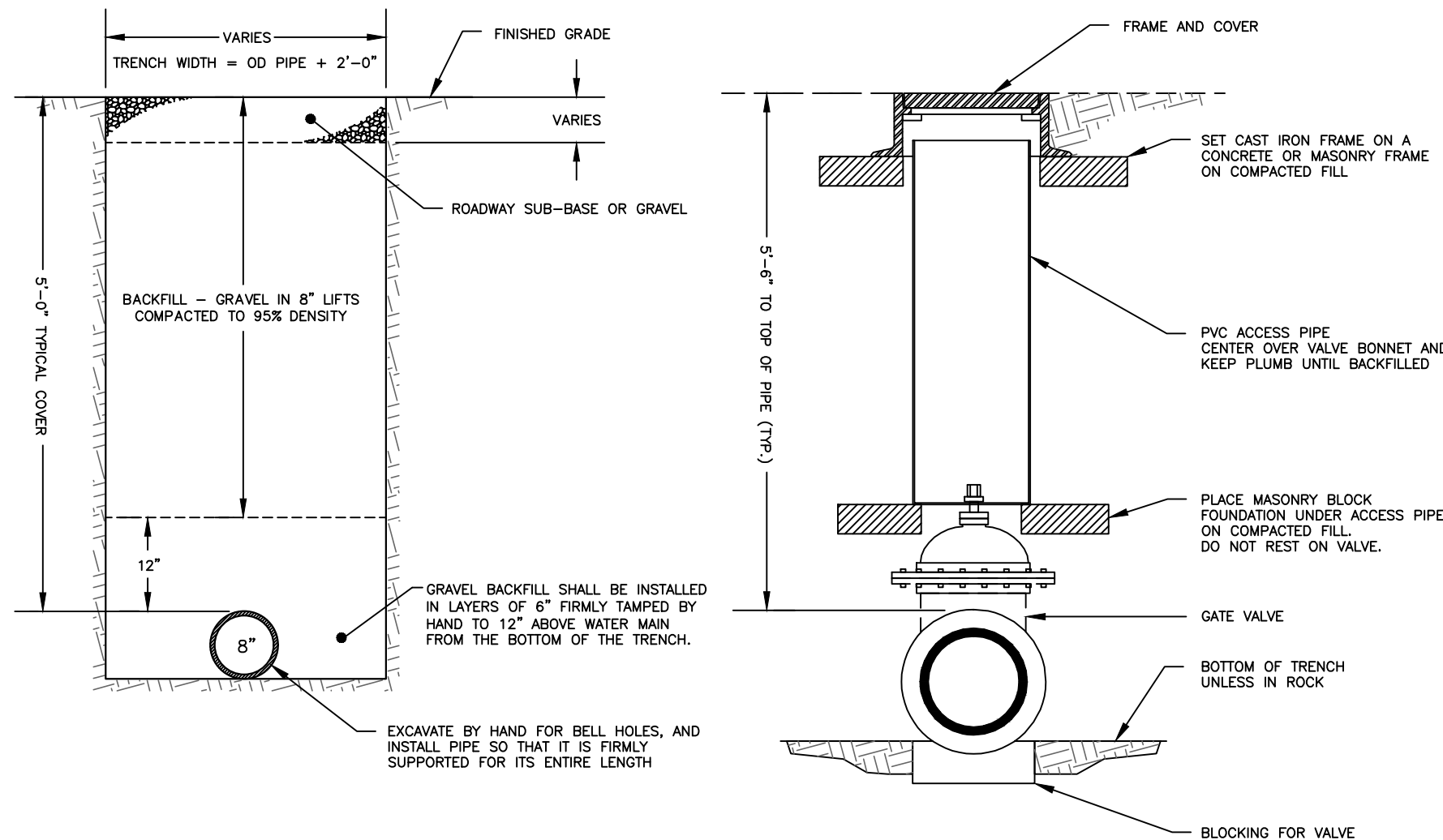
4. CONTRACTOR SHALL ADHERE TO ABINGTON/ROCKLAND WATER DEPARTMENT REQUIREMENTS.

5. ALL WATER MAIN MATERIALS SHALL COMPLY WITH THE SPECIFICATIONS OF THE ABINGTON/ROCKLAND JOINT WATER WORKS (ARJWW).



TYPICAL HYDRANT BRANCH ASSEMBLY

NOT TO SCALE

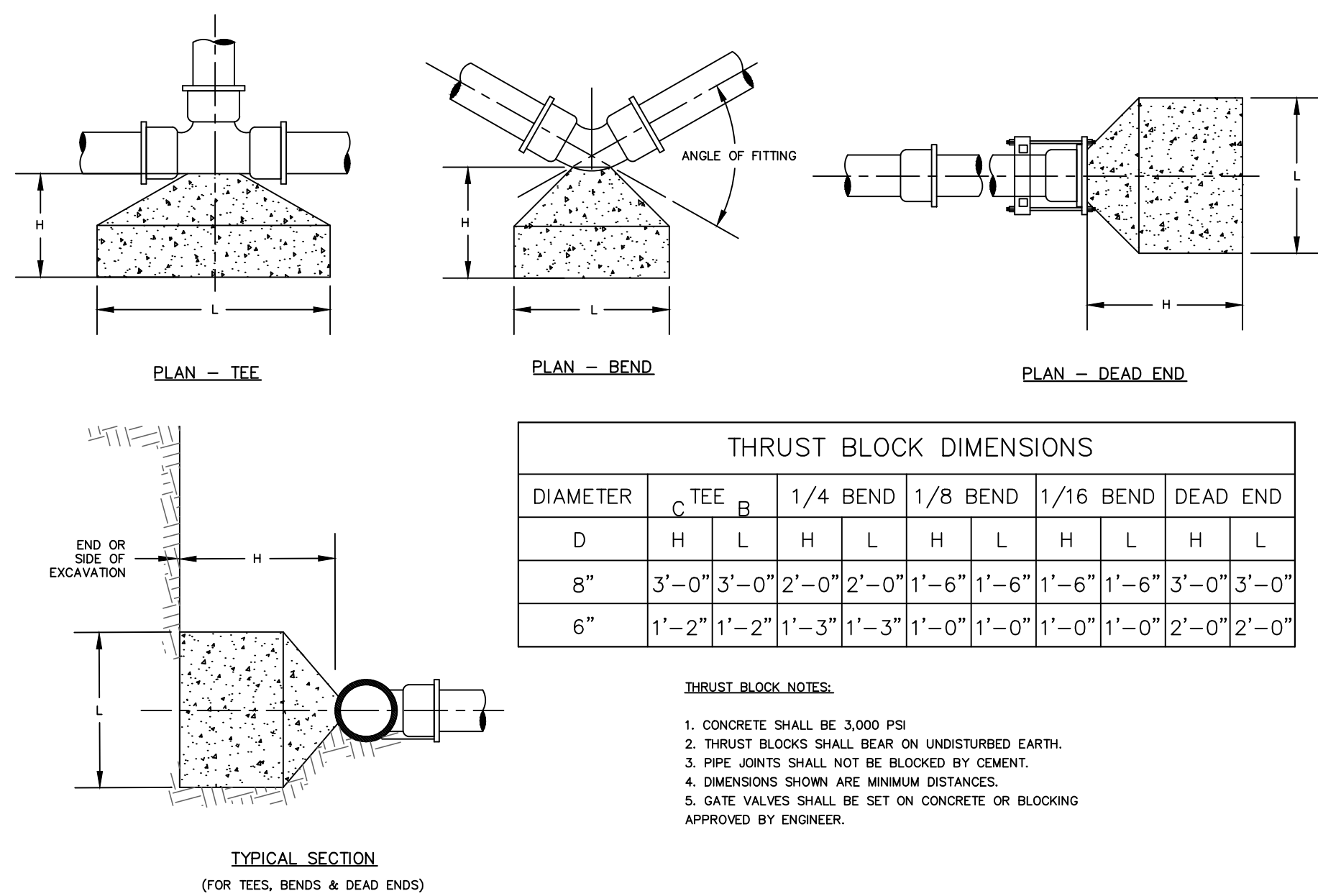


TYPICAL WATER MAIN TRENCH DETAIL

NOT TO SCALE

TYPICAL WATER GATE VALVE

NOT TO SCALE



THRUST BLOCK DIMENSIONS											
DIAMETER	C	T	B	1/4 BEND	1/8 BEND	1/16 BEND	DEAD END				
D	H	L	H	L	H	L	H	L	H	L	L
8"	3'-0"	3'-0"	2'-0"	2'-0"	1'-6"	1'-6"	1'-6"	1'-6"	3'-0"	3'-0"	
6"	1'-2"	1'-2"	1'-3"	1'-3"	1'-0"	1'-0"	1'-0"	1'-0"	2'-0"	2'-0"	

THRUST BLOCK NOTES:

1. CONCRETE SHALL BE 3,000 PSI.

2. THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.

3. PIPE JOINTS SHALL NOT BE BLOCKED BY CEMENT.

4. DIMENSIONS SHOWN ARE MINIMUM DISTANCES.

5. GATE VALVES SHALL BE SET ON CONCRETE OR BLOCKING APPROVED BY ENGINEER.

CONCRETE THRUST BLOCKS

NOT TO SCALE

WATER LINE DETAILS

DRAWING REVISIONS

ACTION	DATE	DESCRIPTION
6	12/23/21	CONSERVATION REVIEW COMMENTS
5	11/30/21	CONSERVATION REVIEW COMMENTS
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SURVEY NOTES:

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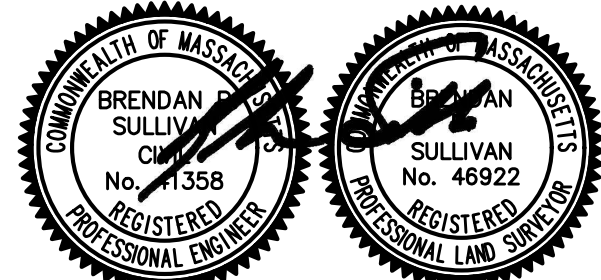
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BRENDAN P. SULLIVAN, P.E., P.L.S.

12/23/2021

DATE

APPROVED BY ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS BEEN FILED IN THIS OFFICE.

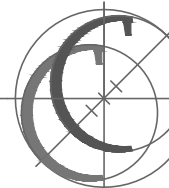
ROCKLAND TOWN CLERK

DATE

DETAIL SHEET 2

CAVANARO CONSULTING

687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS DEFINITIVE PUD PLAN 365 CONCORD STREET ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103

DRAWING NO.

SCALE : AS SHOWN

DATE : 6/1/21

DESIGNED BY : CCH

DRAWN BY : CCH/MCM

CHECKED BY : BPS/JCC

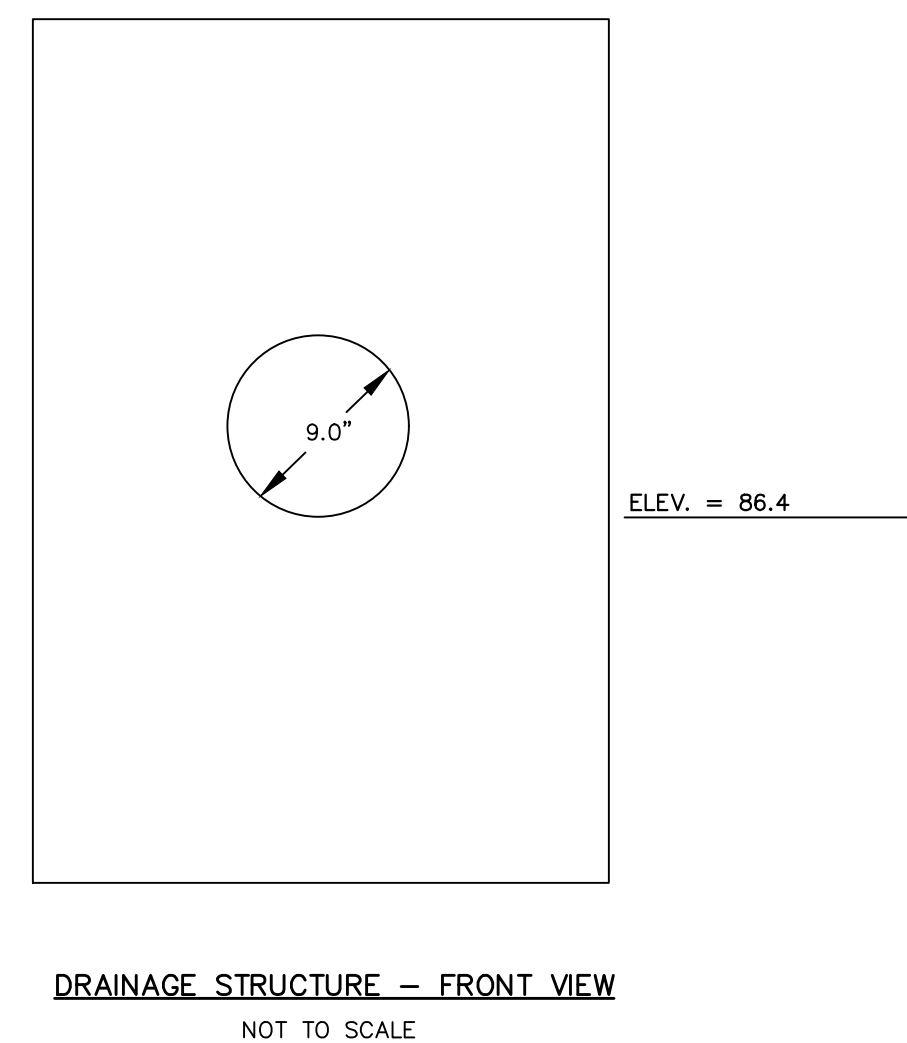
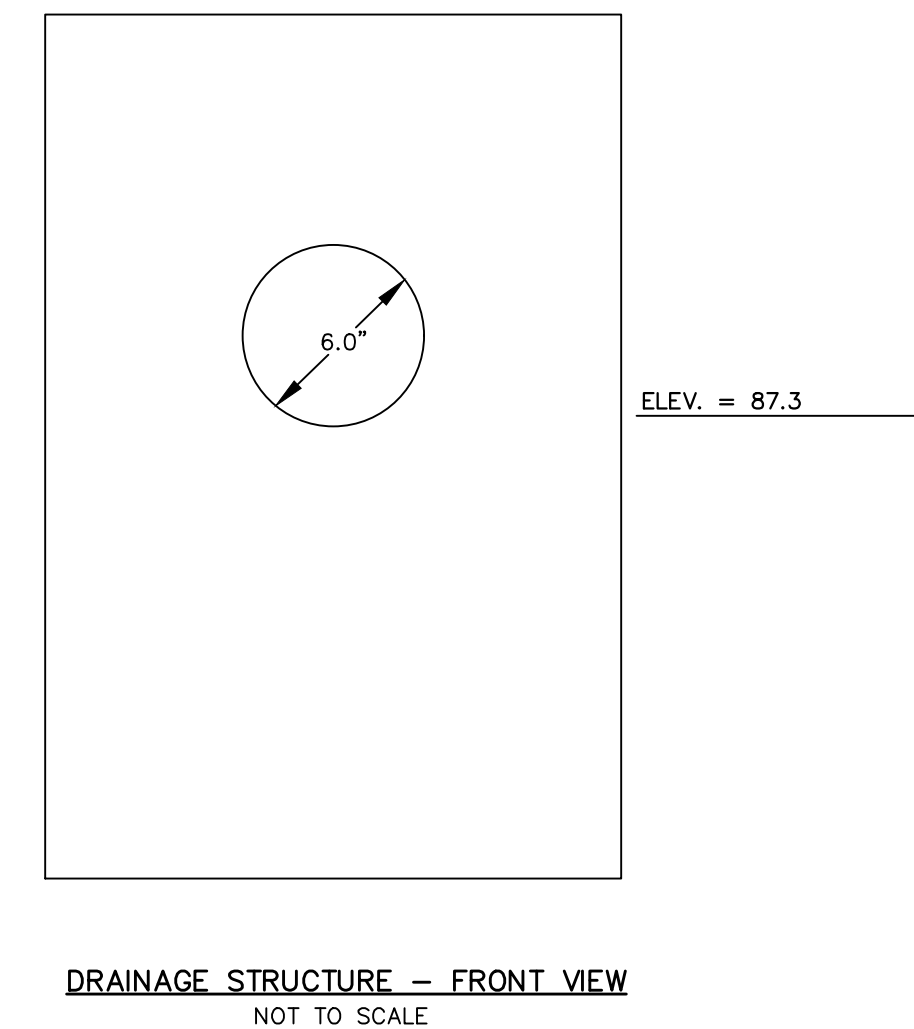
DRAWING NO.

DT2

SHEET NO. 10 OF 13

FILENAME:

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DRAWING REVISIONS		
6	12/23/21	CONSERVATION REVIEW COMMENTS
5	11/30/21	CONSERVATION REVIEW COMMENTS
4	9/23/21	CONSERVATION REVIEW COMMENTS
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2	7/15/21	CONSERVATION
1	6/21/21	REVIEW ENGINEER COMMENTS
ACTION	DATE	DESCRIPTION

SURVEY NOTES:

1. LOCUS LIES IN F.I.R.M. ZONE A, AE AND X AS SHOWN ON COMMUNITY PANEL NO. 25023C0181K DATED JULY 6, 2021.

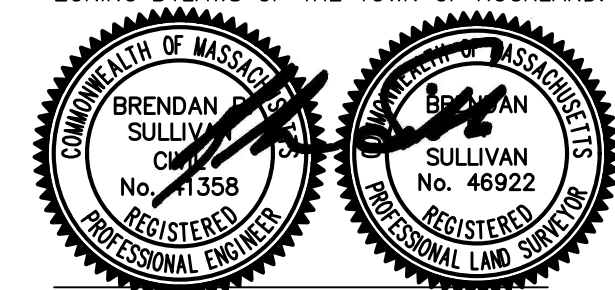
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AND 6.02.

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I CERTIFY THAT THIS PLAN WITH THE WAIVERS HEREIN REQUESTED CONFORMS WITH THE RULES AND REGULATIONS OF THE PLANNING BOARD OF THE TOWN OF ROCKLAND, MASSACHUSETTS UNDER THE SUBDIVISION CONTROL LAW AND ZONING BYLAWS OF THE TOWN OF ROCKLAND.



BRENDAN P. SULLIVAN, P.E., P.L.S. DATE

APPROVED BY
ROCKLAND PLANNING BOARD

DATE: _____

SIGNED: _____

I HEREBY CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE
PLANNING BOARD APPROVAL AND THAT NO APPEAL HAS
BEEN FILED IN THIS OFFICE.

<u>ROCKLAND TOWN CLERK</u>	<u>DATE</u>
----------------------------	-------------

DETAIL SHEET 3

CAVANARO CONSULTING
687 MAIN STREET
P.O. BOX 5175
NORWELL, MASSACHUSETTS 02061
PHONE: 781.659.8187
FAX: 781.659.8186



CONCORD MEADOWS
DEFINITIVE PUD PLAN
365 CONCORD STREET
ROCKLAND, MA 02370

PREPARED FOR:

CONROCK LLC
P.O. BOX 1414
DUXBURY, MA 02331

PROJECT NO. : 19.103	DRAWING NO. DT3
SCALE : AS SHOWN	
DATE : 6/1/21	
DESIGNED BY : CCH	
DRAWN BY : CCH/MCM	
CHECKED BY : BPS/JCC	SHEET NO. 11 OF 13 FILENAME: W:\PR\2019\19.103\DWG\DEF.SUB\DEF.CHECK.DWG

PROPOSED RESIDENTIAL DEVELOPMENT
365 CONCORD STREET – ROCKLAND, MA 02370
STORMWATER MANAGEMENT SYSTEM'S OWNER: CONROCK LLC
SYSTEM OWNER'S ADDRESS: 365 CONCORD STREET, ROCKLAND, MA 02370
PARTY RESPONSIBLE FOR OPERATIONS AND MAINTENANCE: OWNERS OF 365 CONCORD STREET, ROCKLAND, MA 02370

EMERGENCY CONTACT INFORMATION:

CONSTRUCTION SEQUENCING:

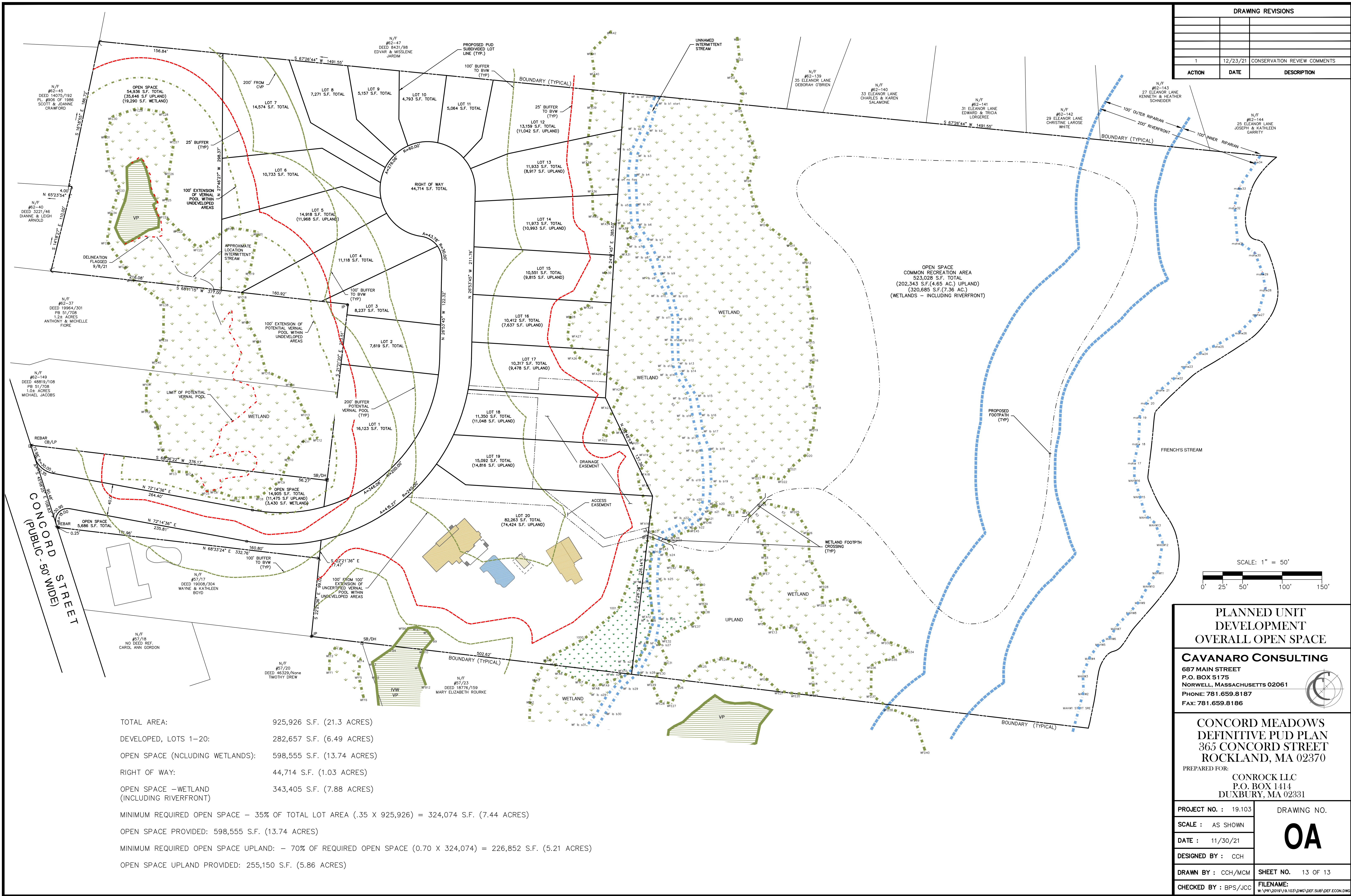
IN THE ANTICIPATION OF, OR DURING A HEAVY RAIN EVENT OR DURING A RAIN EVENT IN COMBINATION WITH SNOWMELT, ALL STORMWATER CONTROLS SHALL BE CHECKED TO ENSURE ADEQUATE PROTECTION AND CAPACITY IS AVAILABLE TO PROTECT ALL EXPOSED SLOPES AND BUFFER ZONES.

IF SPRAY GUNS ARE USED, THEY WILL BE CLEANED ON A REMOVABLE TARP.

DATE _____

FILENAME:
W:\PR\2019\19.103\DWG\DEF.SUB\DEF.ECON.DWG

DRAWING REVISIONS		
1	12/23/21	CONSERVATION REVIEW COMMENTS
ACTION	DATE	DESCRIPTION



TOTAL AREA: 925,926 S.F. (21.3 ACRES)

DEVELOPED, LOTS 1-20: 282,657 S.F. (6.49 ACRES)

OPEN SPACE (NCLUDING WETLANDS): 598,555 S.F. (13.74 ACRES)

RIGHT OF WAY: 44,714 S.F. (1.03 ACRES)

OPEN SPACE -WETLAND
(INCLUDING RIVERFRONT) 343,405 S.F. (7.88 ACRES)

MINIMUM REQUIRED OPEN SPACE - 35% OF TOTAL LOT AREA (.35 X 925,926) = 324,074 S.F. (7.44 ACRES)

OPEN SPACE PROVIDED: 598,555 S.F. (13.74 ACRES)

MINIMUM REQUIRED OPEN SPACE UPLAND: - 70% OF REQUIRED OPEN SPACE (0.70 X 324,074) = 226,852 S.F. (5.21 ACRES)

OPEN SPACE UPLAND PROVIDED: 255,150 S.F. (5.86 ACRES)