

SITE PLAN - LOVELL ACADEMY

NOTE: THE PLAN PROPOSES 2 OPTIONS FOR WATER SUPPLY AND SEWAGE TREATMENT DUE TO MORATORIUMS ON CONNECTIONS TO MUNICIPAL WATER AND SEWER. **OPTION #1** (PREFERRED OPTION) PROPOSES CONNECTIONS TO THE MUNICIPAL WATER AND SEWER SYSTEMS. **OPTION 2** PROPOSES THE CONSTRUCTION OF A WATER SUPPLY WELL AND ONSITE SEPTIC SYSTEM. IT IS THE INTENT OF THE OWNER TO OBTAIN A BUILDING PERMIT AND START CONSTRUCTION OF THE BUILDING. THE OWNER FURTHER INTENDS TO HOLD OFF ON CONSTRUCTION OF THE WELL AND SEPTIC SYSTEM WHILE AWAITING THE END OF THE MORATORIUM. IF CONSTRUCTION OF THE PRIVATE WELL AND SEPTIC SYSTEM MUST BE BEGUN THE OWNER WILL IMPLEMENT OPTION 2 AND WILL NOT SEEK CONNECTION TO THE MUNICIPAL WATER AND SEWER SYSTEMS.

PLAN NORTH



SHEET INDEX

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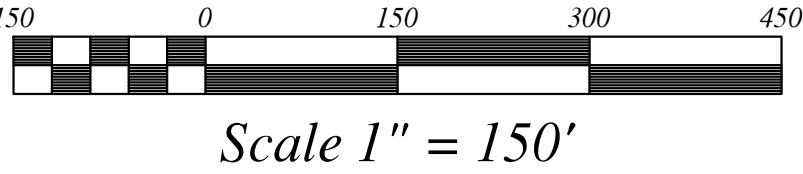
SITE PLAN APPROVAL
ROCKLAND PLANNING BOARD

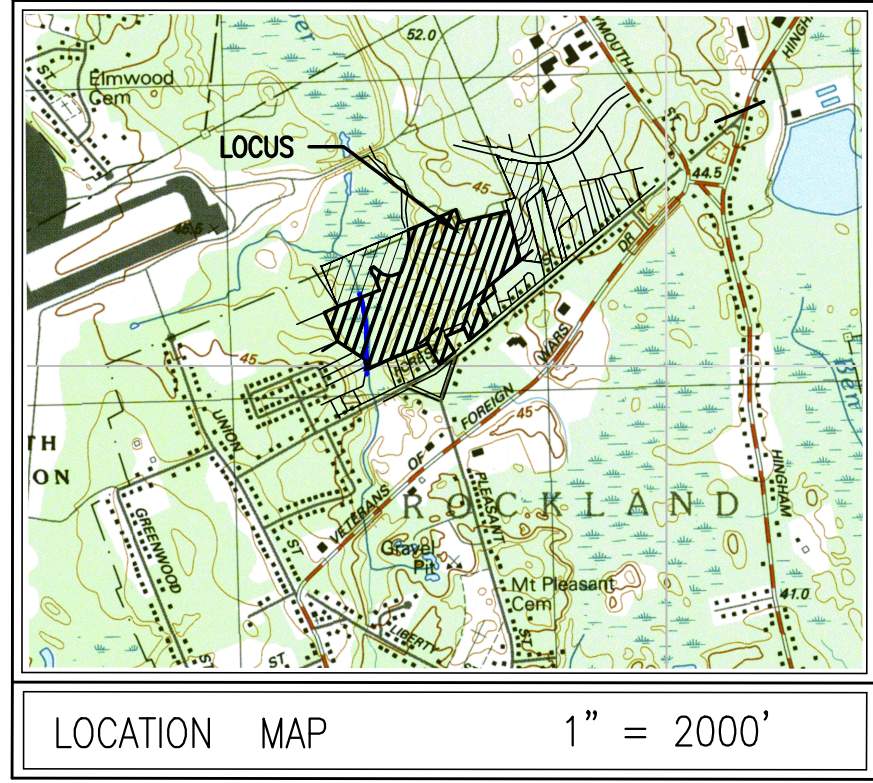
DATE _____	
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OCTOBER 12, 2021	RESPONSE TO PAT BRENNAN (INV SH 5 & 6)
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SITE PLAN
LOVELL ACADEMY
#80 BILL DELAHUNT PARKWAY
ASSESSORS LOT 14-092
ROCKLAND, MASSACHUSETTS

PREPARED FOR:
FOREST DELAHUNT DEVELOPMENT LLC
LAUREN MONAHAN MANAGING PARTNER
129 JACOBS LANE
NORWELL MA 02061

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors &
Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378





BILL DELAHUNT PARKWAY

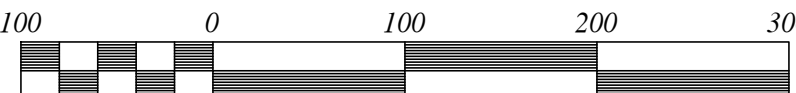
BENCHMARK
TOP OF CONCRETE BOUND
ELEVATION = 165.46
NAVD 88 DATUM

PROPOSED SCHOOL
(15,209 SF)

HOCKEY RINK
(UNDER CONSTRUCTION)

I-2 INDUSTRIAL PARK ZONE
R-2 RESIDENCE ZONE

FOREST STREET



Scale 1" = 100'

ZONE: I-2 INDUSTRIAL PARK & R-2 RESIDENCE ZONE
EXISTING USE: VACANT, SKATING RINK (UNDER CONSTRUCTION)
PROPOSED USE: EDUCATIONAL FACILITY SCHOOL
MGL CH 40A SECTION 3— NO ZONING ORDINANCE OR BY-LAW SHALL REGULATE OR RESTRICT THE INTERIOR AREA OF A SINGLE FAMILY RESIDENTIAL BUILDING NOR SHALL ANY SUCH ORDINANCE OR BY-LAW PROHIBIT, REGULATE OR RESTRICT THE USE OF LAND OR STRUCTURES FOR RELIGIOUS PURPOSES OR FOR EDUCATIONAL PURPOSES ON LAND OWNED OR LEASED BY THE COMMONWEALTH OR ANY OF ITS AGENCIES, SUBDIVISIONS OR BODIES POLITIC OR BY A RELIGIOUS SECT OR DENOMINATION, OR BY A NONPROFIT EDUCATIONAL CORPORATION; PROVIDED, HOWEVER, THAT SUCH LAND OR STRUCTURES MAY BE SUBJECT TO REASONABLE REGULATIONS CONCERNING THE BULK AND HEIGHT OF STRUCTURES AND DETERMINING YARD SIZES, LOT AREA, SETBACKS, OPEN SPACE, PARKING AND BUILDING COVERAGE REQUIREMENTS.
PARCEL SIZE 2,569,937 S.F. (58.99 ACRES)
1,620,473 S.F. (37.2 ACRES) CONTIGUOUS UPLAND

DIMENSIONAL REQUIREMENTS: 415-5 INTERPRETATION OF BOUNDARIES:
WHERE A DISTRICT BOUNDARY LINE DIVIDES A LOT EXISTING AT THE TIME SUCH LINE IS ADOPTED, THE REGULATIONS APPLYING TO THE PORTION OF SUCH LOT IN THE LESS RESTRICTED DISTRICT MAY BE CONSIDERED AS EXTENDING NOT MORE THAN 30 FEET INTO THE MORE RESTRICTED PORTION, BUT ONLY IF THE LOT HAS FRONTAGE ON A STREET IN THE LESS RESTRICTED DISTRICT. THE PROVISION SHALL NOT BE USED TO DIMINISH THE BUFFER ZONE (REAR YARD DIMENSIONS) REQUIREMENTS BETWEEN RESIDENTIAL AND NON-RESIDENTIAL DISTRICTS AS CONTAINED IN§ 415-22.

REQUIRED	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	-----	2,569,937 S.F.	2,569,937 S.F.
LOT FRONTAGE	110 FT	203.22 FT	203.22 FT
LOT WIDTH @ 50' SETBACK	110'	203.22 FT	203.22 FT
FRONT YARD	50 FT	-----	348.7FT
SIDE YARD**	30 FT	-----	33.5 & 41.9 FT
REAR YARD**	30 FT	-----	51 FT

MAX BUILDING COVERAGE	ALLOWED 50%	-----	4.2% (94750+15209/2,569,937)
BUILDING HEIGHT	-----	-----	-----
STORIES	3	-----	3
HEIGHT	36 FT	-----	36 FT

PARKING ANALYSIS

ZBL 415-35 — OFF STREET PARKING REQUIREMENTS: D.(4) SCHOOLS 1.5 SPACES PER CLASSROOM AND 1 SPACE FOR EVERY NON-PROFESSIONAL EMPLOYEE

REQUIRED PARKING: 8 CLASSROOMS , 19 NON-PROFESSIONAL EMPLOYEES
1 JANITOR, 6 CHAPERONES, 4 TEACHERS, 2 ADMINISTRATORS, 1 NURSE, 1 SECURITY, 4 KITCHEN.

REQUIRED:		
CLASSROOMS:	10 X 1.5	= 15 SPACES REQUIRED
EMPLOYEE (NON-PROFESSIONAL & PRO.)		= 19 SPACES REQUIRED
PROPOSED		= 34 SPACES REQUIRED
		= 51 SPACES PROPOSED

(30% ALLOWED TO BE COMPACT 9'X18': 15 ALLOWED, 14 PROPOSED)

RECORD OWNER:

ASSESSOR MAP 14 LOT 92
0 BILL DELAHUNT PARKWAY
FOREST DELAHUNT DEVELOPMENT LLC
DEED BOOK 54183 PAGE 246
PLAN BOOK 64 PAGE 822

ASSESSOR MAP 19 LOT 47
0 FOREST STREET
FOREST DELAHUNT DEVELOPMENT LLC
DEED BOOK 54183 PAGE 246
PLAN BOOK 64 PAGE 822
CERTIFICATE 131245
LC PLAN 35481A

ASSESSOR MAP 19 LOT 108
0 FOREST STREET
FOREST DELAHUNT DEVELOPMENT LLC
BOOK 53981 PAGE 301
CERTIFICATE 131244
LC PLAN 35481B

ASSESSOR MAP 13 LOT 3
338 FOREST STREET
FOREST DELAHUNT DEVELOPMENT LLC
DEED BOOK 53980 PAGE 301
PLAN BOOK 25 PAGE 423

ASSESSOR MAP 13 LOT 1
0 FOREST STREET
FOREST DELAHUNT DEVELOPMENT LLC
DEED BOOK 54183 PAGE 246
PLAN BOOK 64 PAGE 822

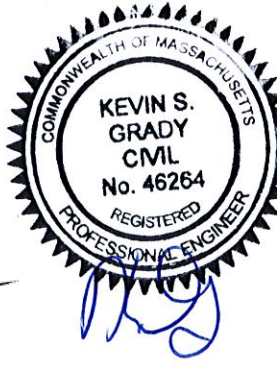
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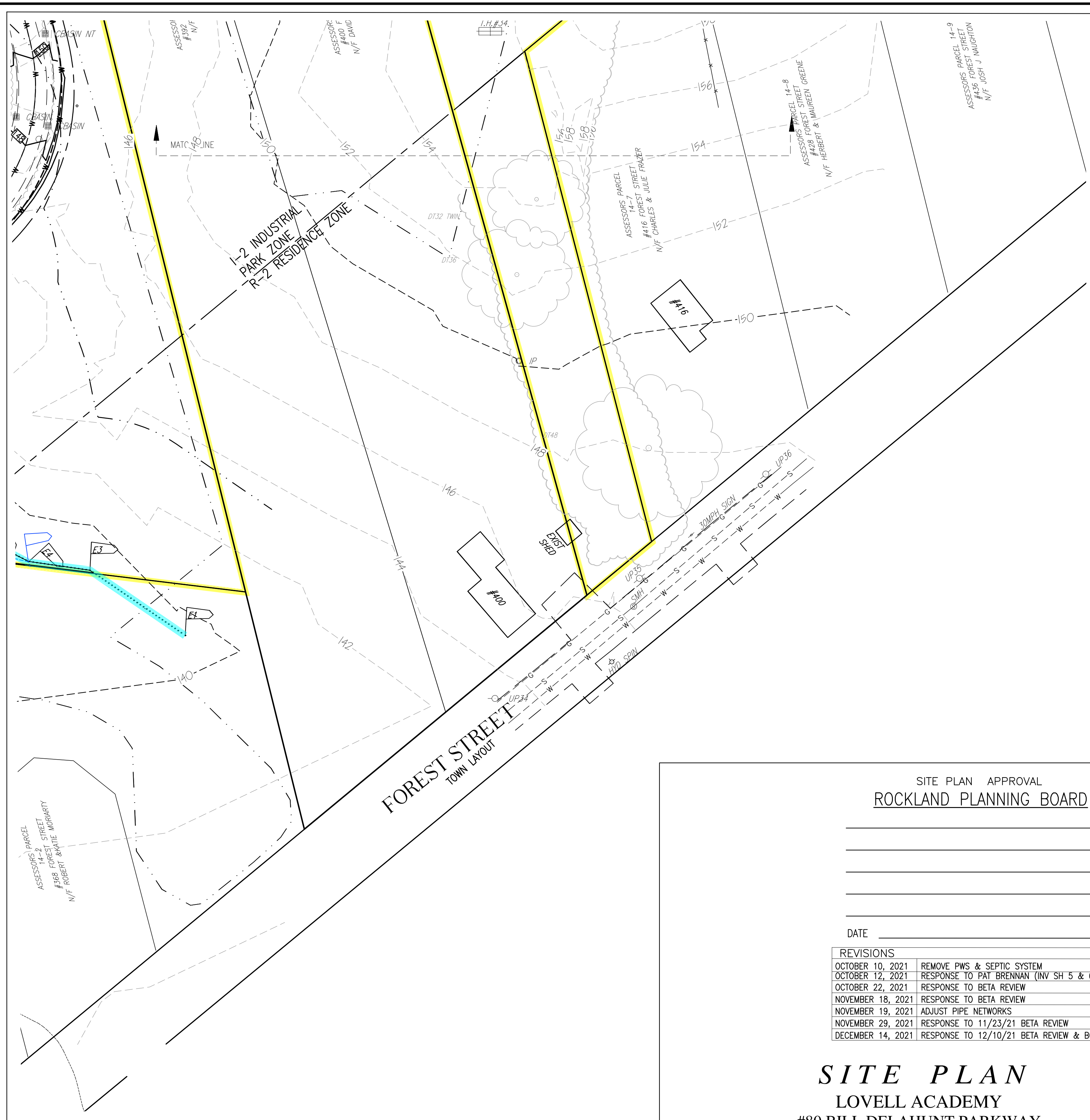
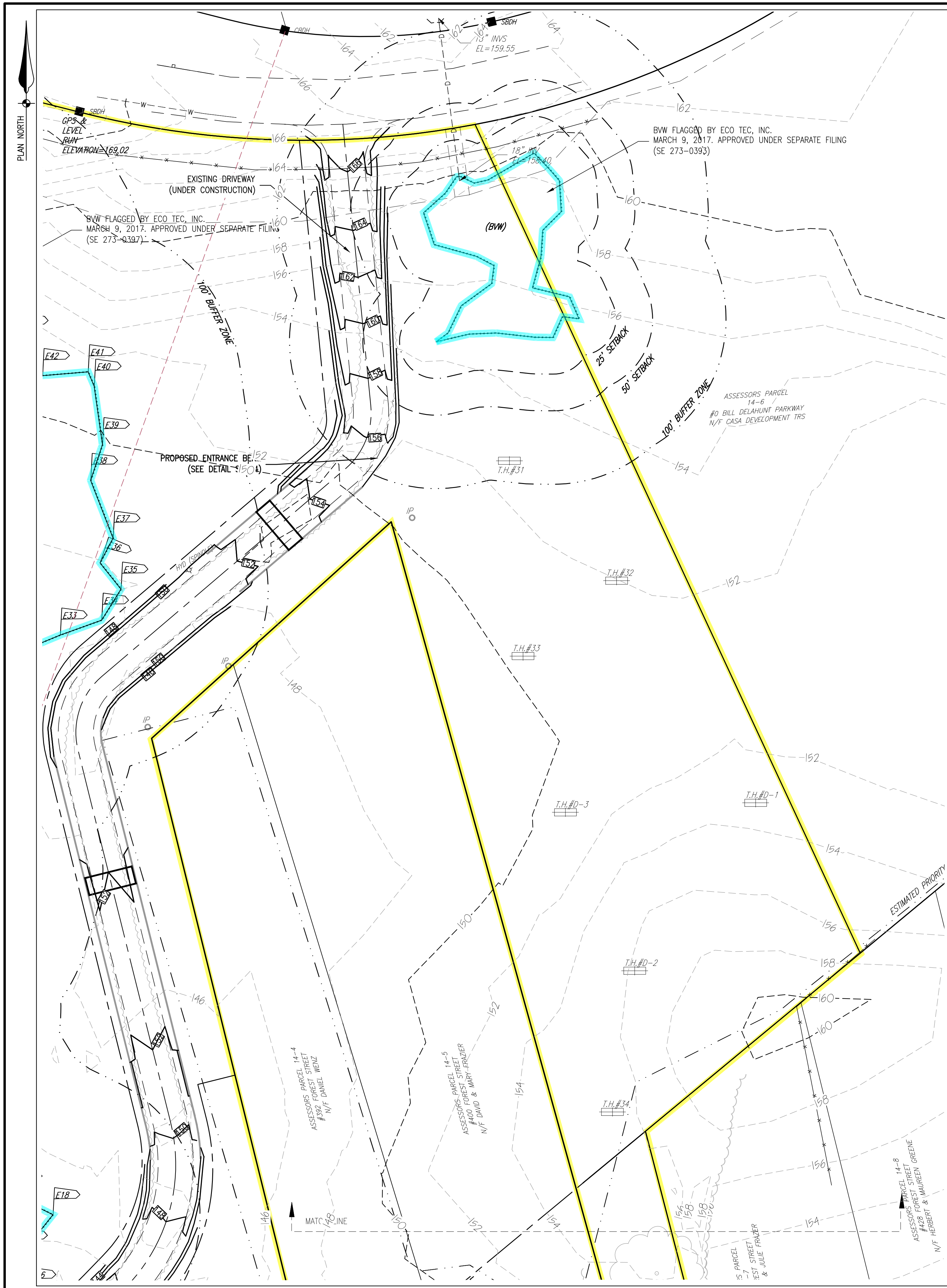
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NORWELL MA 02061
AUGUST 16, 2021
SCALE: 1"= 100'
JOB No. 17-276

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- WAIVERS FROM THE RULES AND REGULATIONS OF THE ROCKLAND PLANNING BOARD
- SECTION III.C.2.e.1 TO USE HDPE DRAIN PIPE INSTEAD OF CLASS III RCP AND REDUCTION IN PIPE COVER REQUIREMENTS TO LESS THAN 2.5 FT.
 - SECTION III.C.2.F.1 SUBSURFACE DETENTION/RETENTION BASINS SHALL NOT BE PERMITTED WITHOUT A WAIVER.



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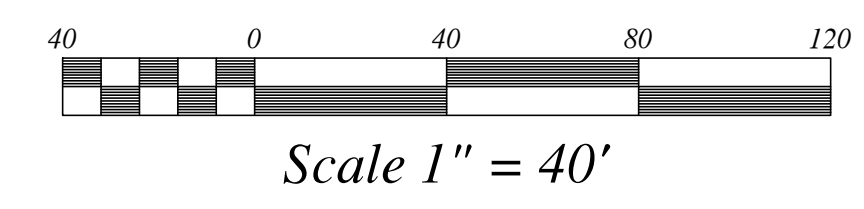
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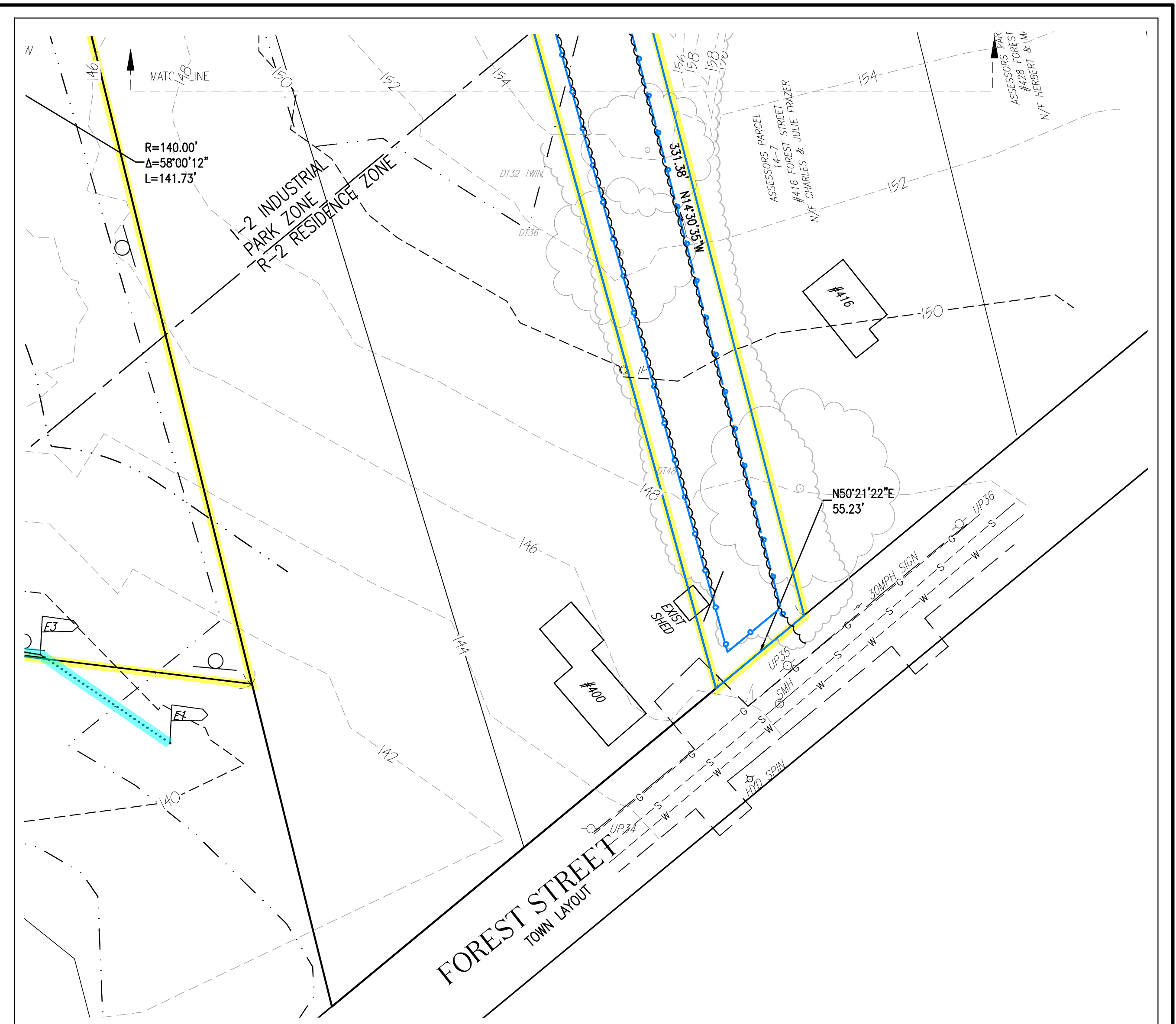
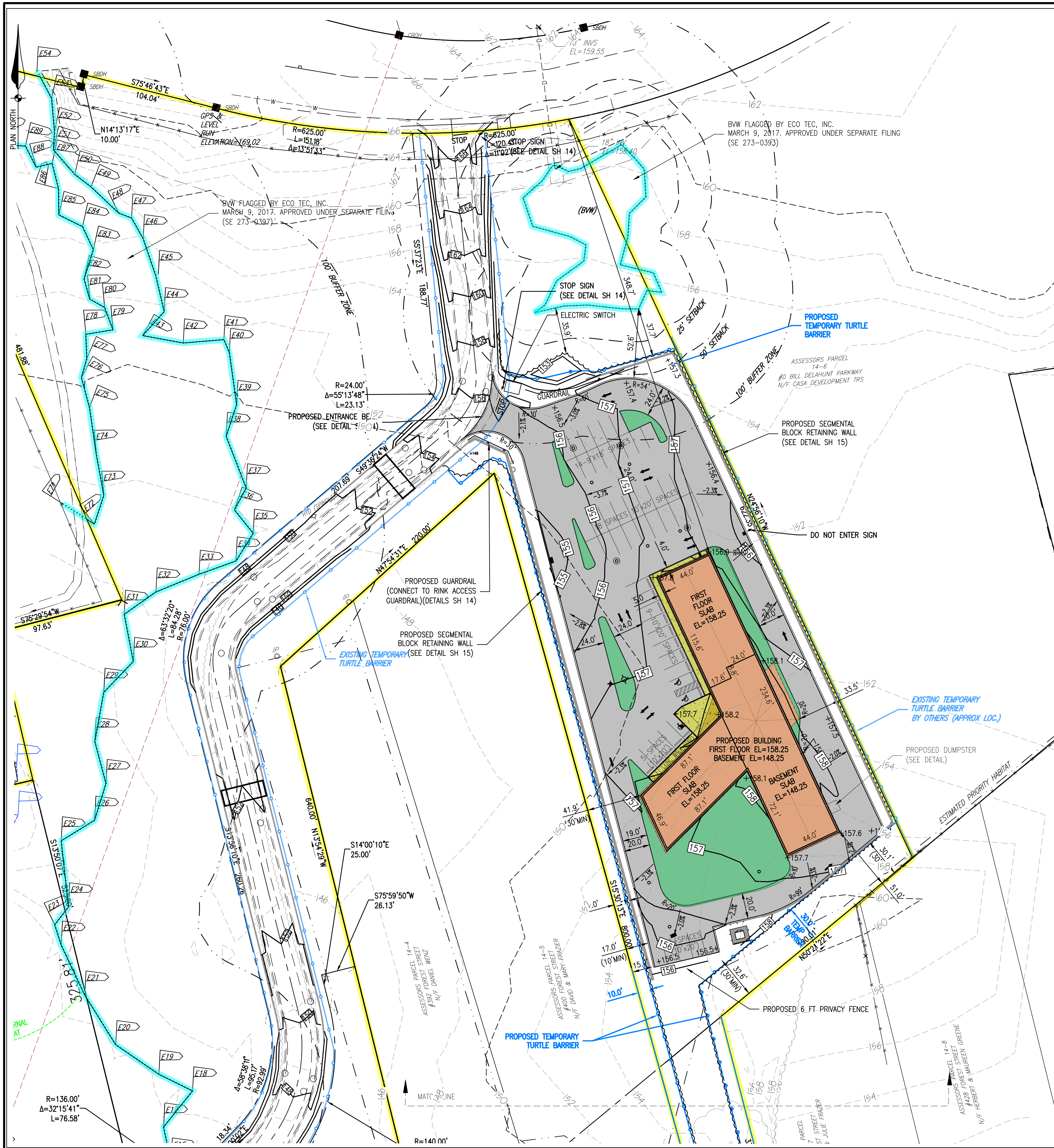
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SCALE: 1"= 40'
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EXISTING CONDITIONS



- NOTE:
1. SEE SHEET 12 FOR EROSION CONTROL PLAN
 2. SEE SHEET 13 FOR TURTLE BARRIER LOCATION

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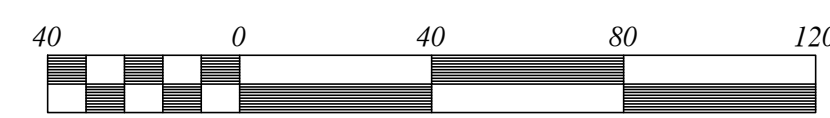
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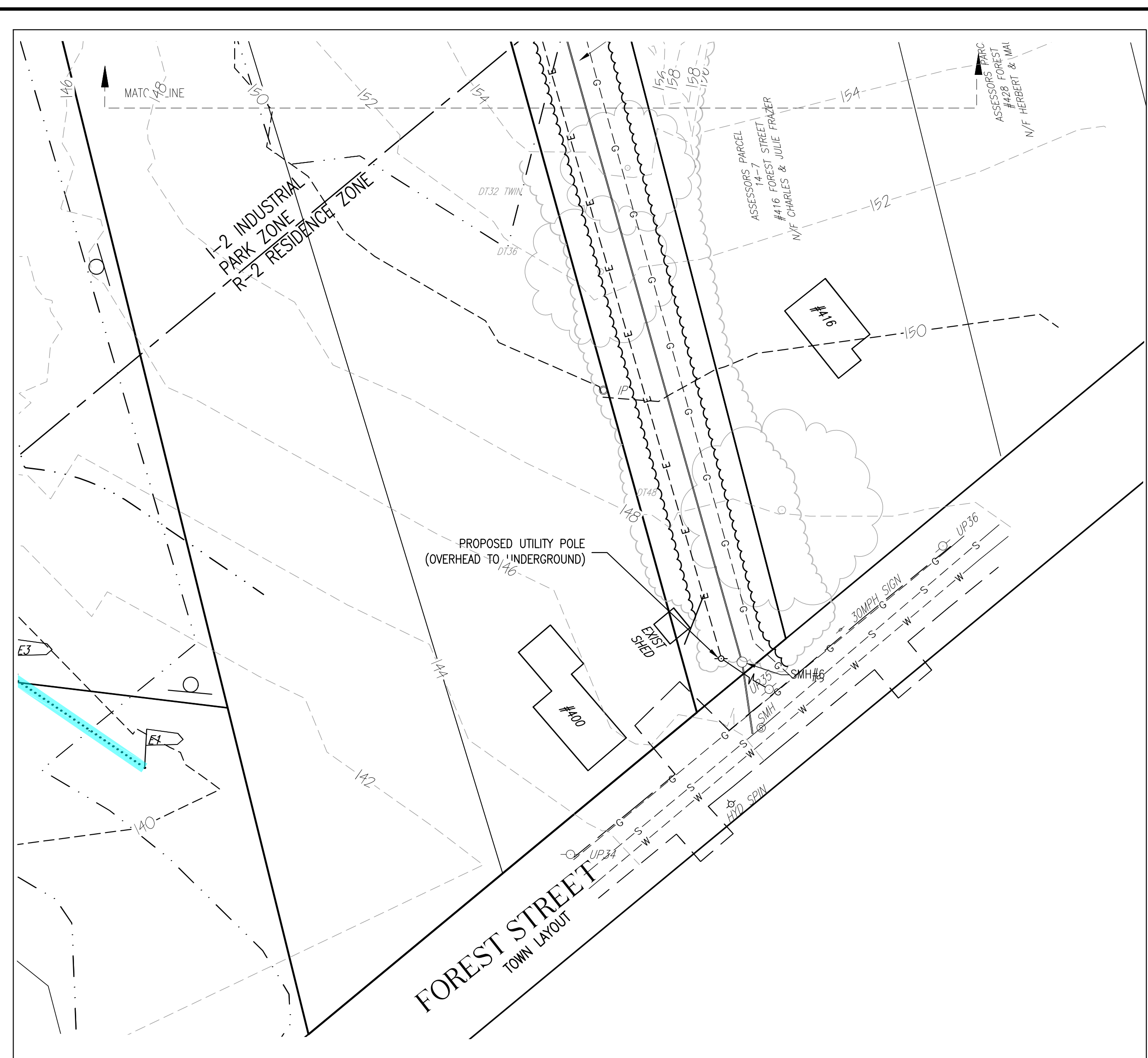
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LAYOUT AND GRADING



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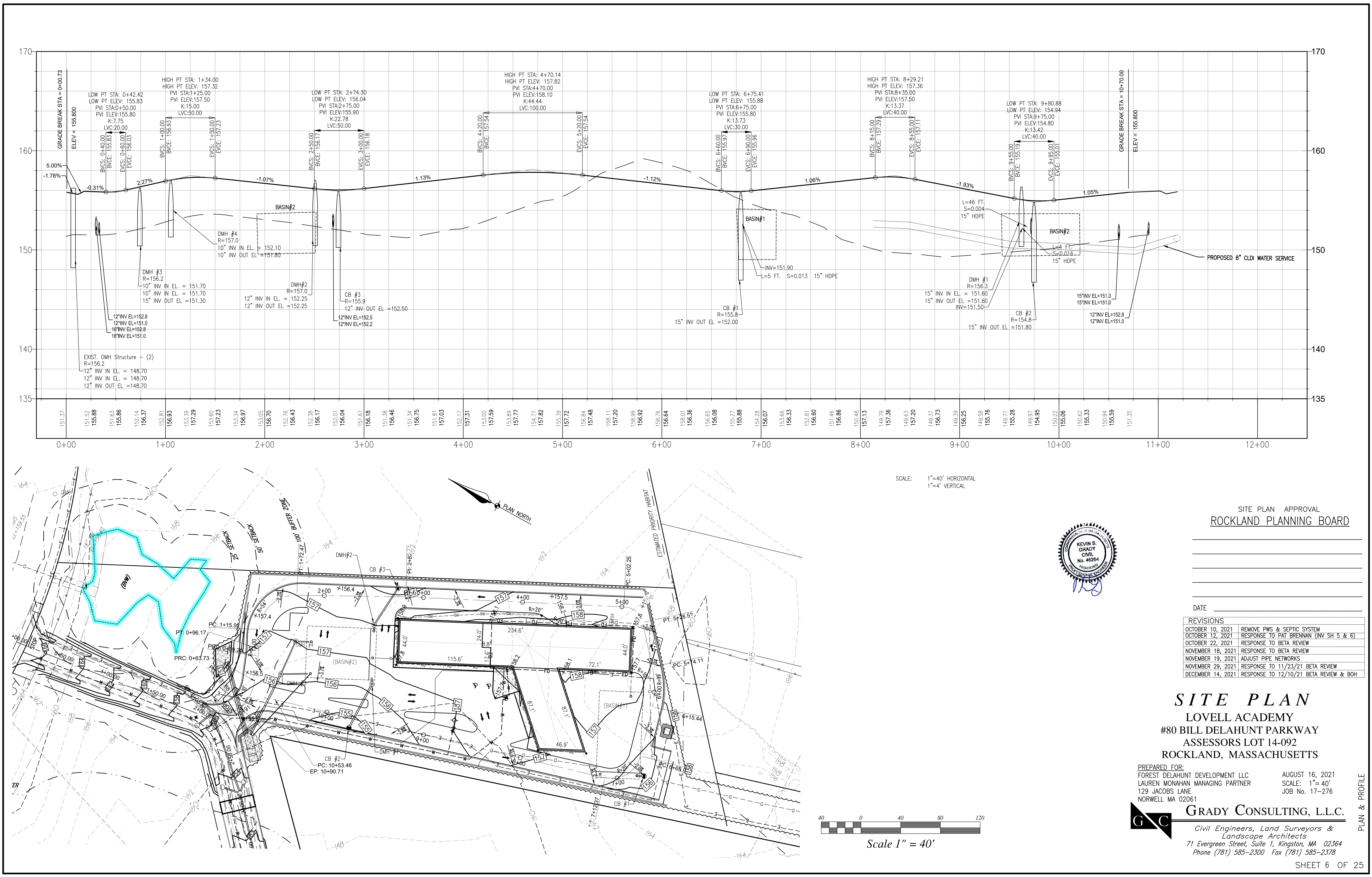
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SHEET 5 OF 25

Scale 1" = 40'



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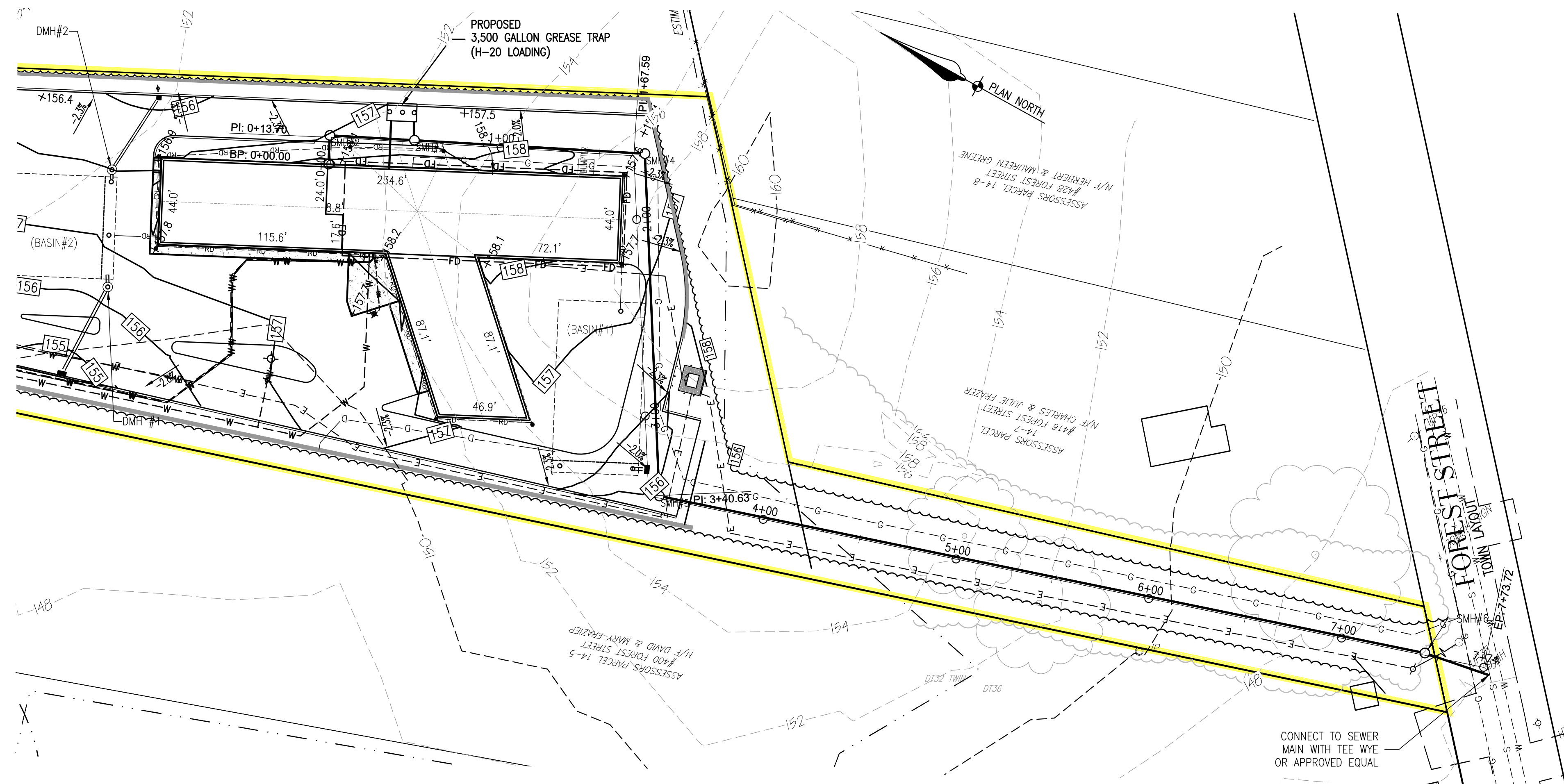
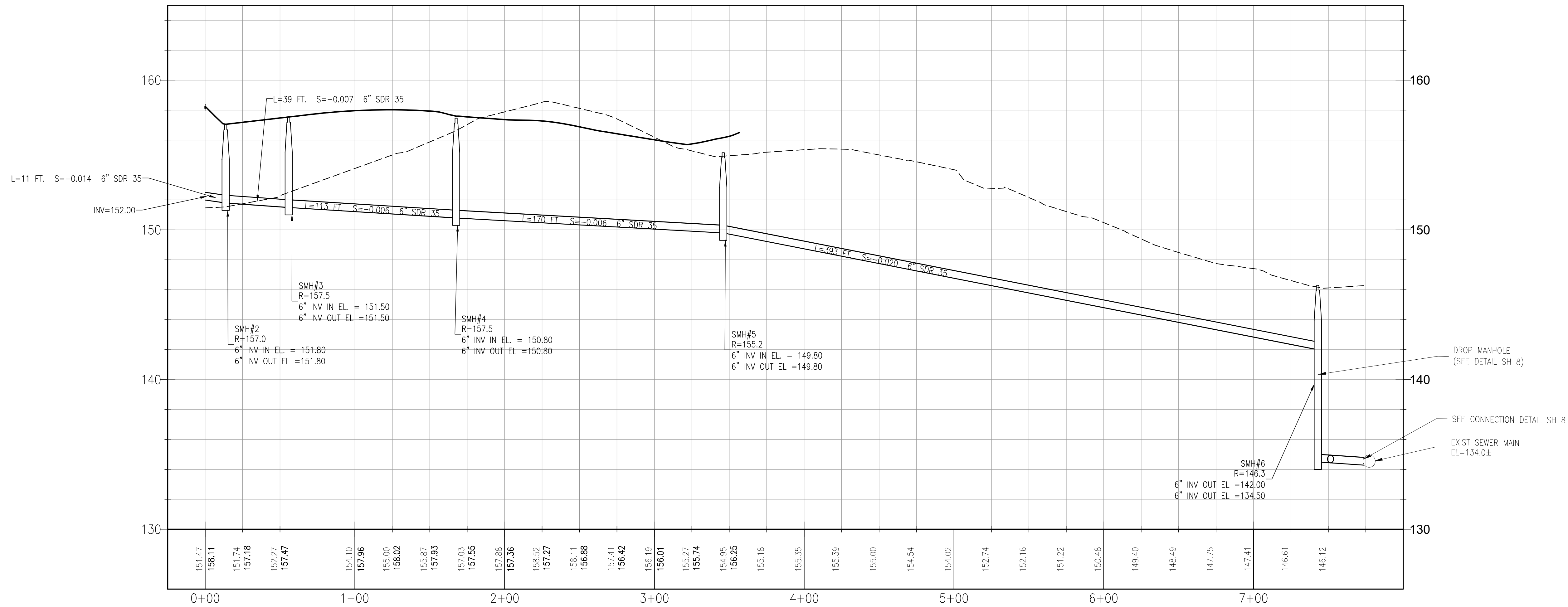
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PLAN & PROFILE



SCALE: 1"=40' HORIZONTAL
1"=4' VERTICAL

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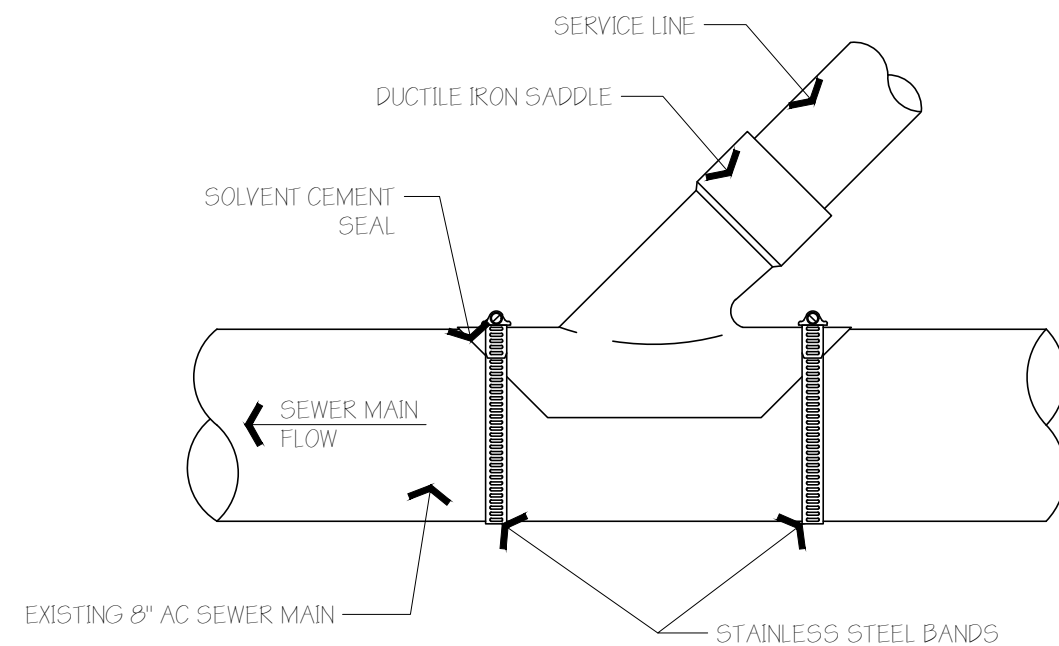
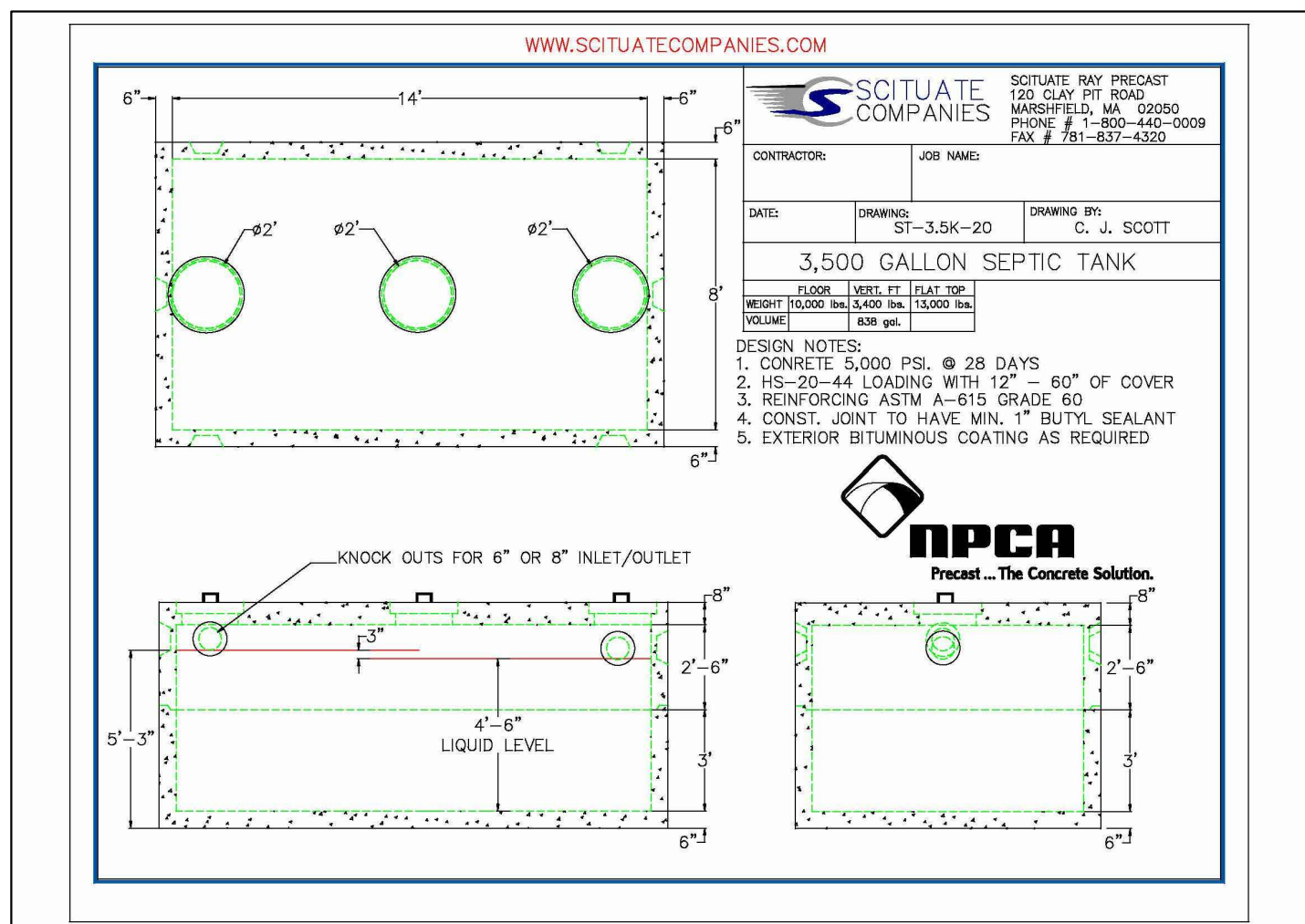
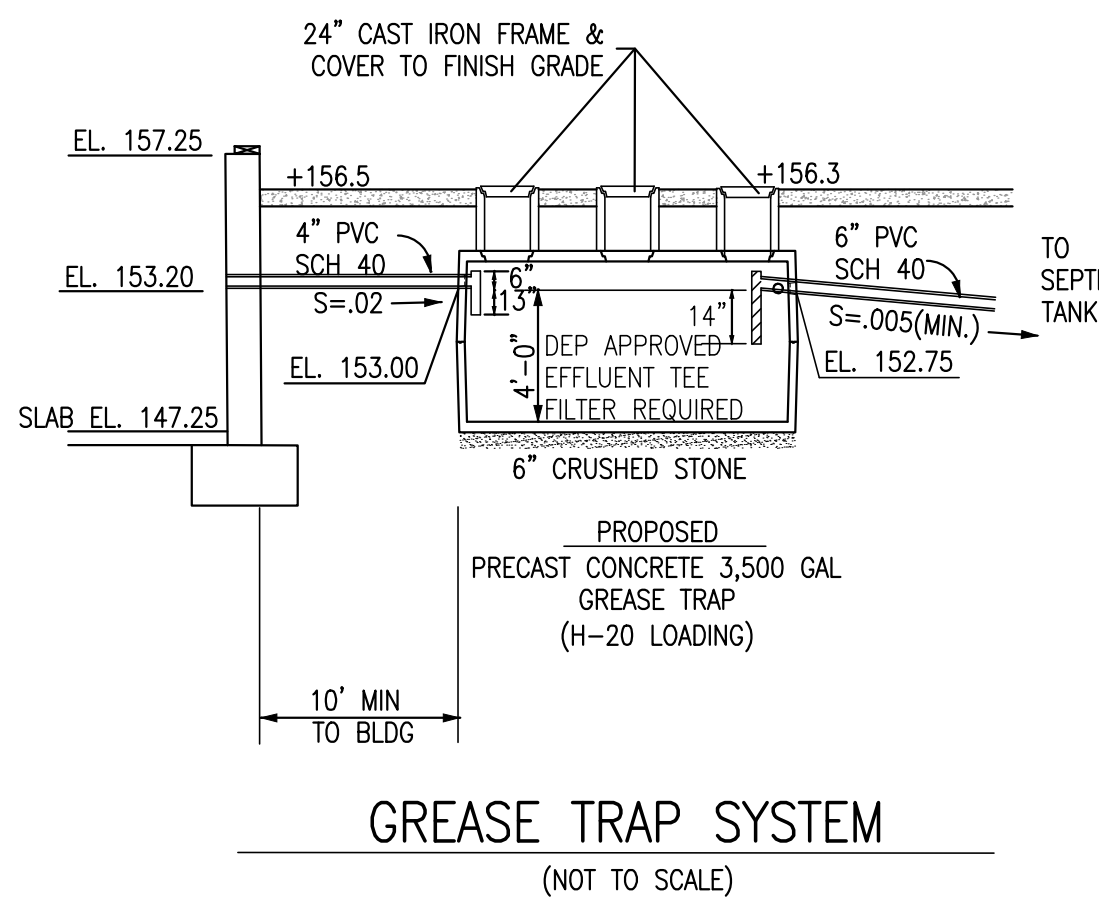
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PLAN & PROFILE



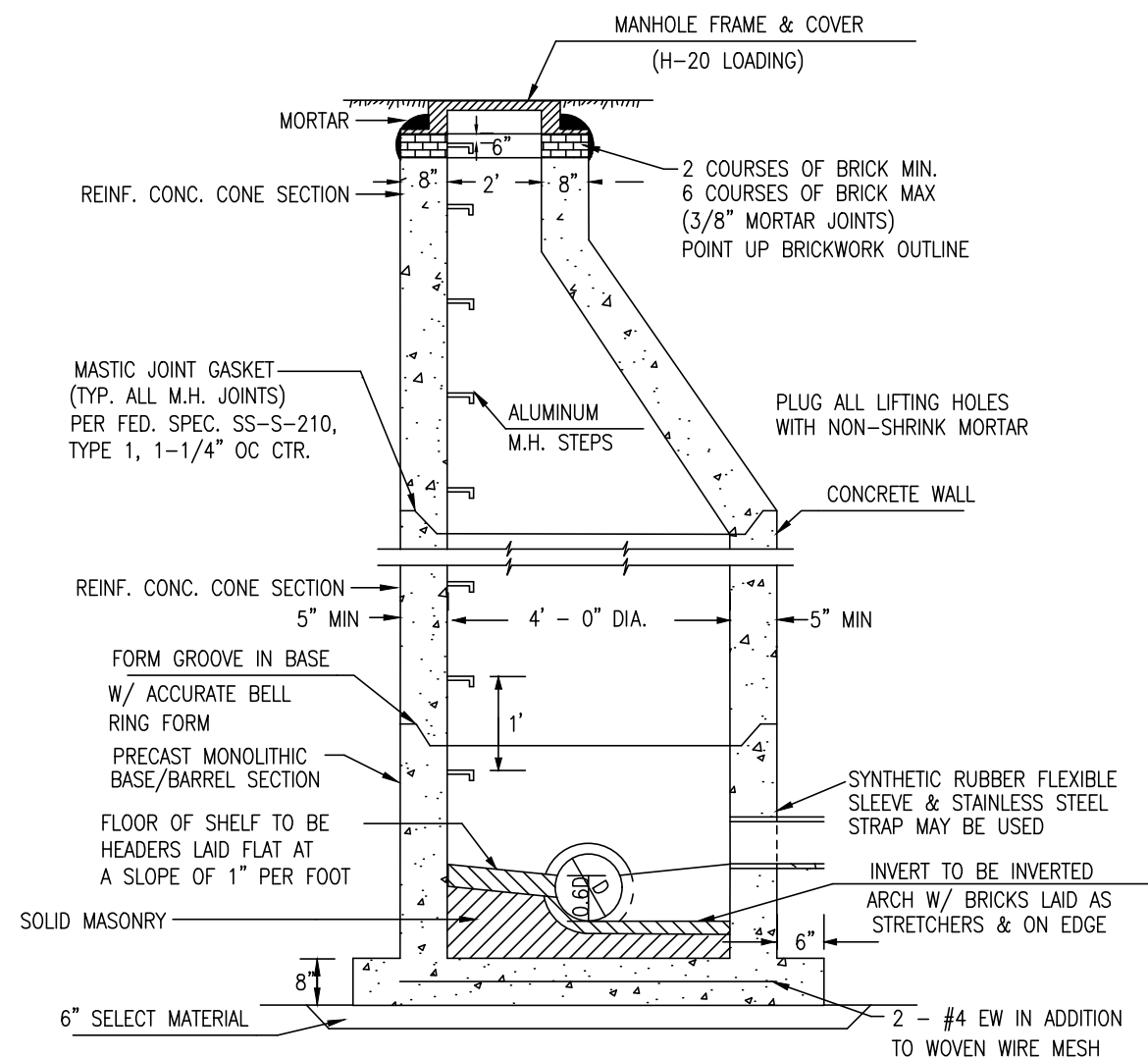
- NOTES
1. SADDLE SHALL BE DOUBLE BAND OR DOUBLE STRAP TYPE WITH DUCTILE IRON BODY CONFORMING TO ASTM A-536, GRADE 65-45-12
 2. FINISHED EPOXY COAT OF 10 MILS MINIMUM
 3. BOLTS, NUTS AND WASHERS TO BE TYPE 304 STAINLESS STEEL
 4. GASKETS SHALL BE VIRGIN NBR COMPOUND FOR WATER AND SEWER SERVICE
 5. STRAPS SHALL BE TYPE 204 STAINLESS STEEL WITH THREADS TO PREVENT GALLING.

SOIL LOGS

T.H.#31 EL. 152.64	T.H.#32 EL. 152.00	T.H.#33 EL. 150.22	T.H.#34 EL. 155.41
0'-6" A LOAM	0'-6" A LOAM	0'-6" A LOAM	0'-6" A LOAM
6'-36" B LOAMY SAND	6'-36" B LOAMY SAND	6'-28" B LOAMY SAND	6'-24" B LOAMY SAND
36'-108" C1 LOAMY SAND	36'-98" C1 LOAMY SAND	28'-92" C1 LOAMY SAND	24'-84" C1 LOAMY SAND
40'-58" P.R.=20 MIN/IN	48'-64" P.R.=20 MIN/IN	36'-54" P.R.=18 MIN/IN 142.55	60'-78" P.R.=19 MIN/IN
143.64	143.83	140.22	148.41
D=9'-0" NO MOTTLING WEPPING 8'-5" (EL=144.14)	D=8'-2" MOTTLING 6'-4" (EL=145.67)	D=10'-0" COARSE LOAMY SAND 7'-6" (EL=142.72)	D=7'-0" NO WATER

SOILS TESTING BY KEVIN GRADY, GRADY CONSULTING WITNESSED BY WILL BARRETT JULY 30, 2021.

3,500 GAL GREASE TRAP (H-20 LOADING)



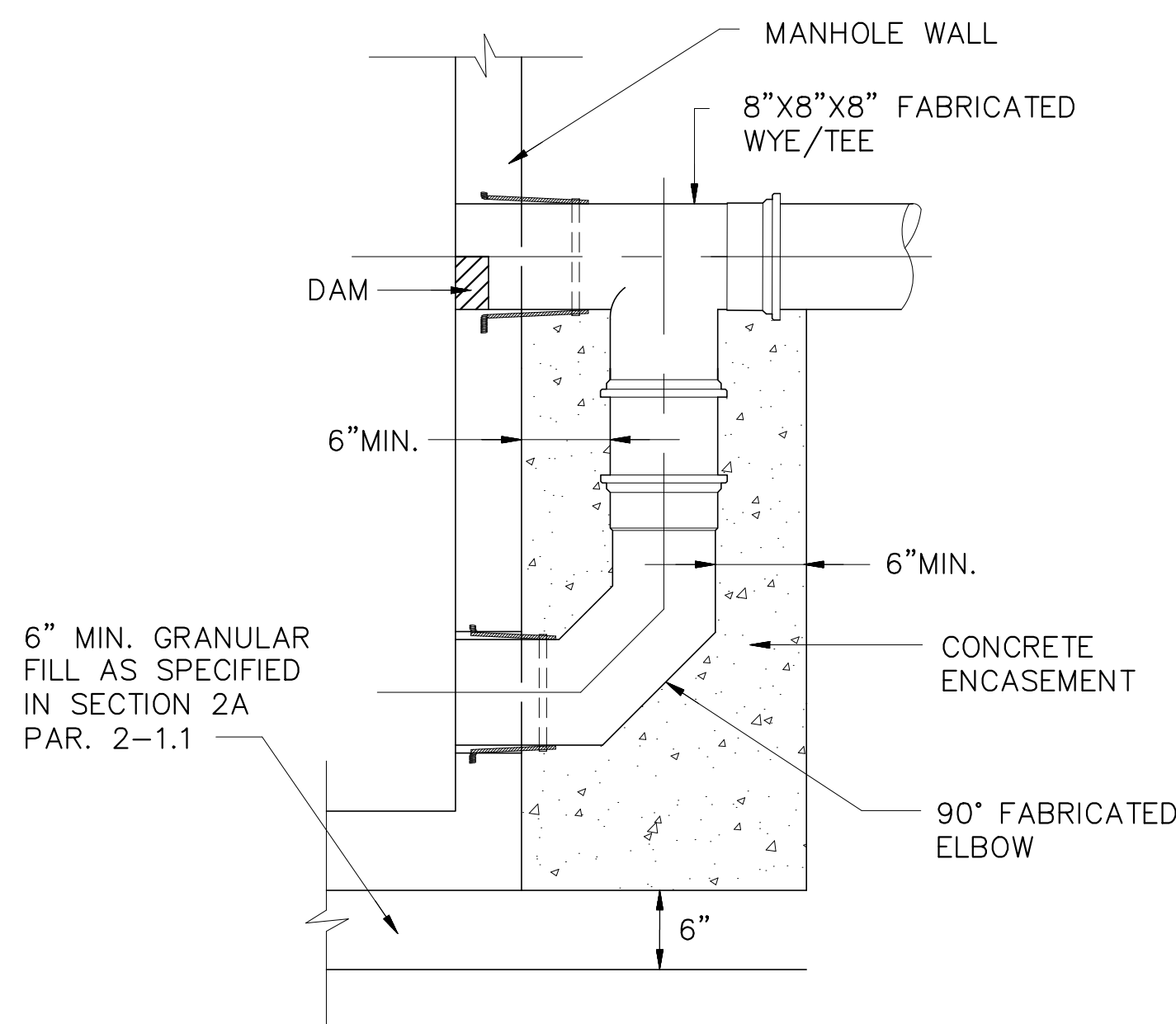
SANITARY SEWER MANHOLE

NOT TO SCALE

00 SADDLE SEWER CONNECTION

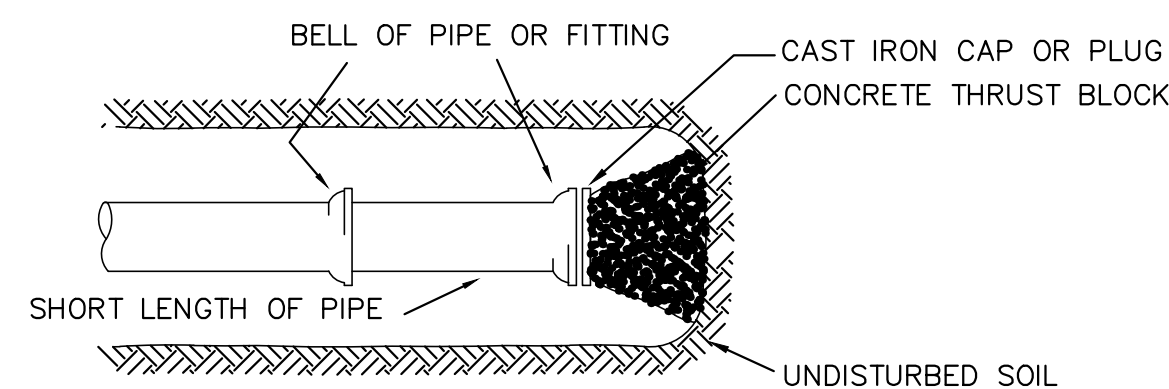
1" = 1'-0"

DETAIL FILE



TYPICAL DROP. CONNECTION DETAIL

NOT TO SCALE

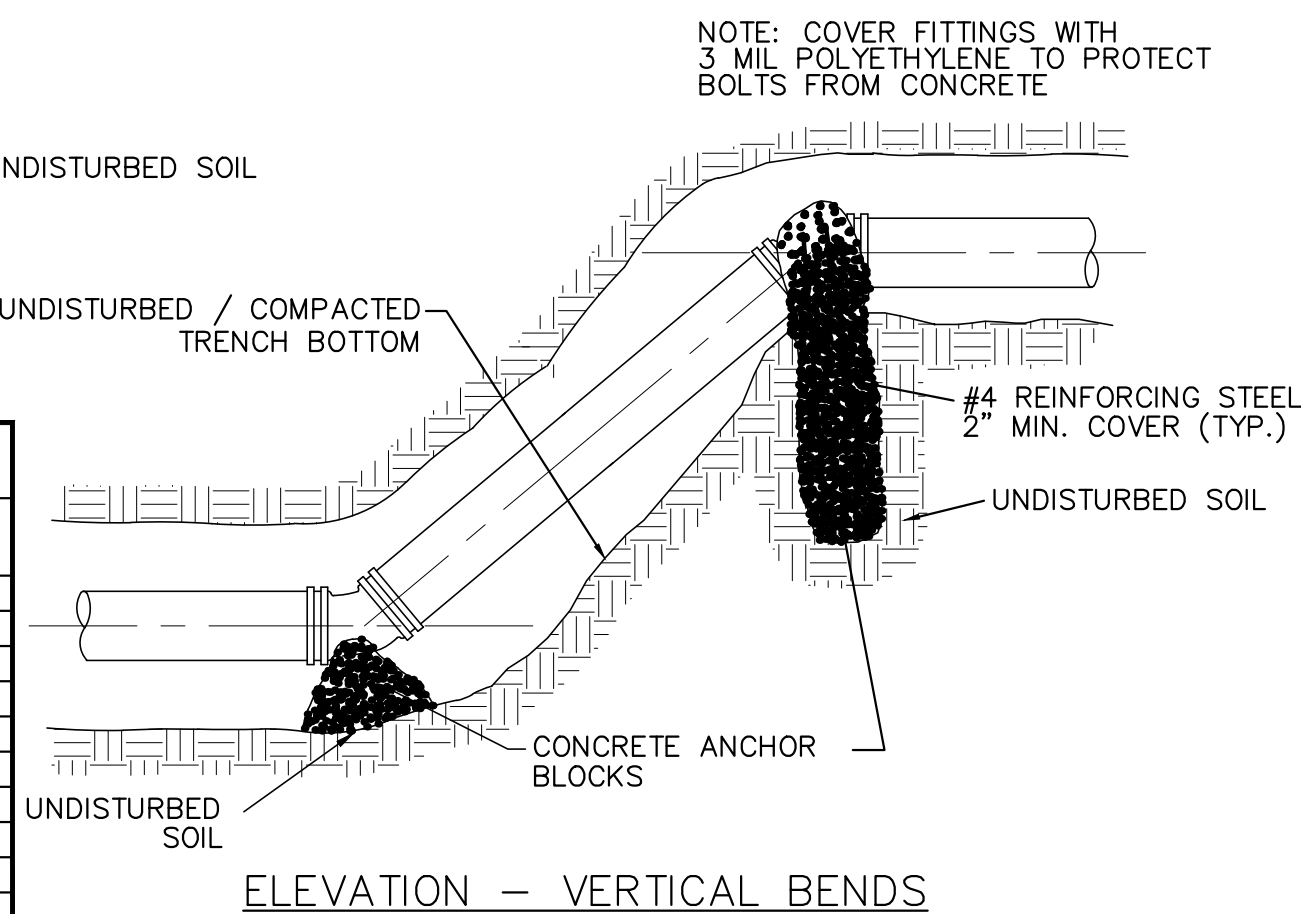


PLAN PLUG END OF LINE

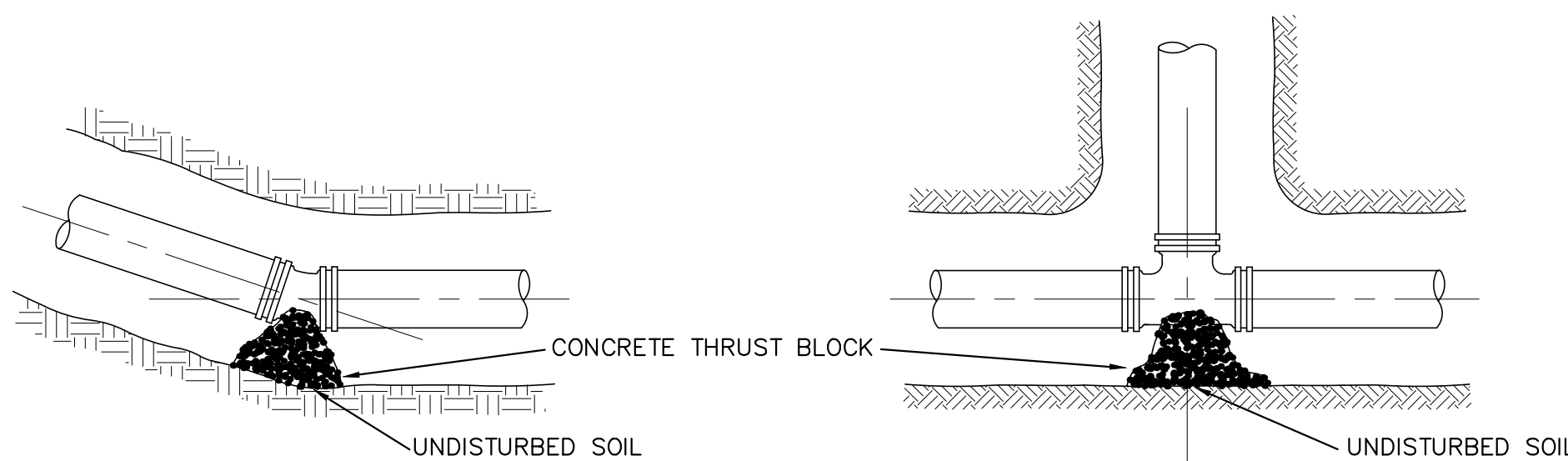
THRUST BLOCK REQUIREMENTS	
FITTING	MIN BEARING AREA (SF)
8" X 1/8 BEND	12
12" X 8" TEE	12
10" X 8" TEE	10
8" X 8" TEE	9
8" X 6" TEE	5
8" CAP / PLUG	12
12" X 8" REDUCER	8
10" X 8" REDUCER	6
8" X 6" REDUCER	4
8" 22 1/2" & 45° BENDS	8
ALL TEES AND VALVES	10
HYDRANTS	9

ANCHORAGE DETAILS

NOT TO SCALE



ELEVATION - VERTICAL BENDS



PLAN HORIZONTAL BEND

PLAN TEE

NOTE: COVER MECHANICAL JOINTS WITH 3 MIL POLYETHYLENE TO PROTECT BOLTS FROM CONCRETE THRUST BLOCK



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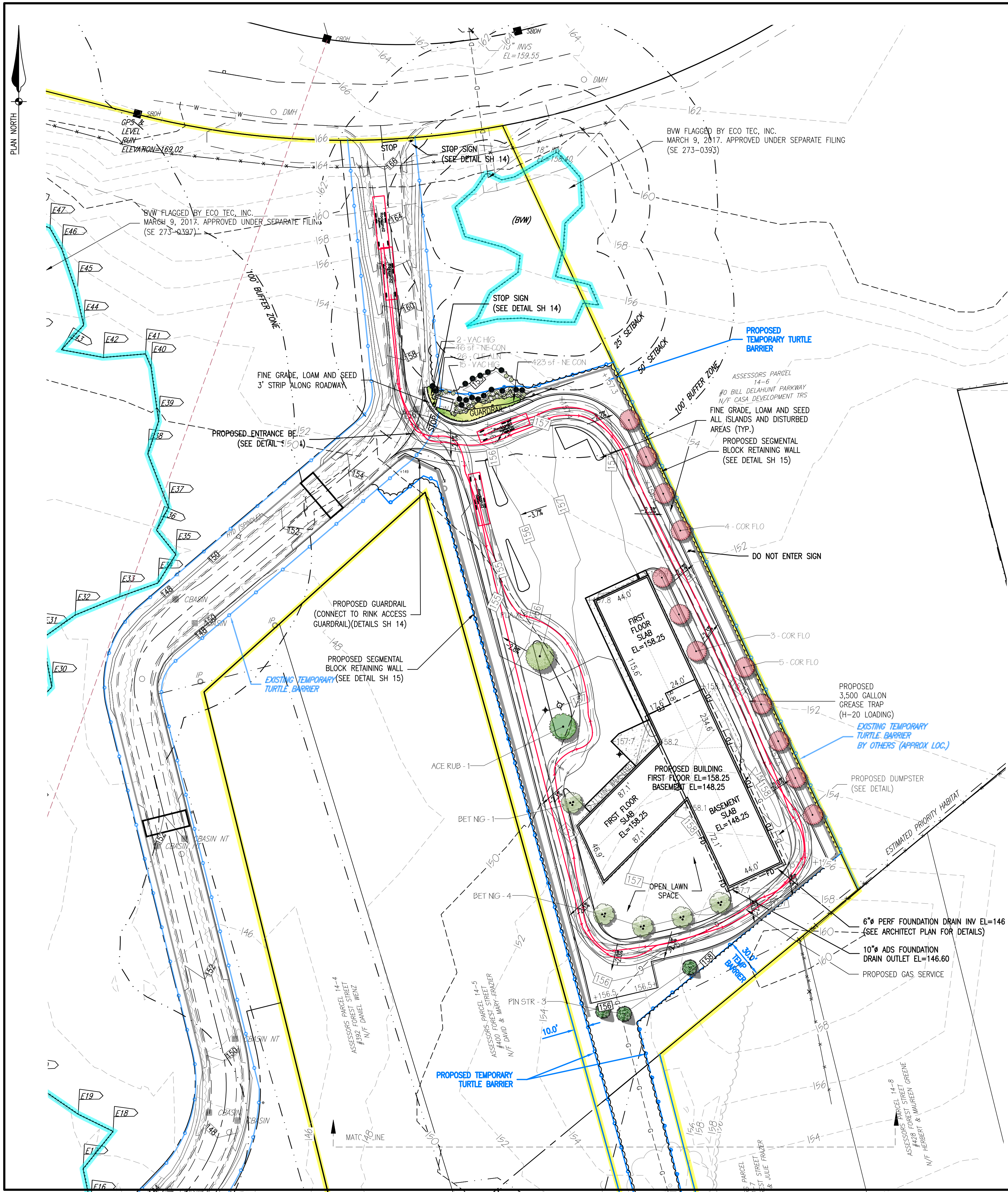
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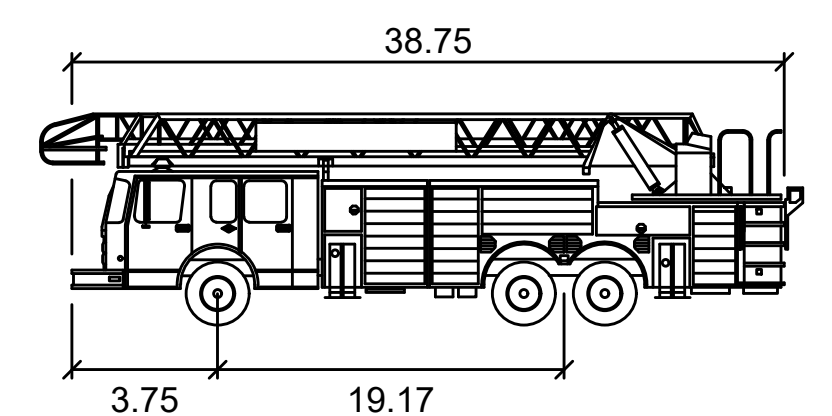
SHEET 8 OF 25

SEWER DETAILS



NOTES:
ON TREES BELOW 3" CAL. USE WOOD STAKES.
ON TREES 3" CAL. OR GREATER USE GUYING CABLES.
IF GUYING CABLES USE 3 PER TREE

INSTALL TREE PLUMB - L.A. TO APPROVE FACE / ORIENTATION OF TREES ON SITE
NON-GUDELING STRAP SUCH AS CHAIN LOCK OR ARBOR TAPE
INSTALL TREE GATORS ON ALL TREES NOT COVERED BY IRRIGATION AS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO MAINTAIN DURING PERIOD OF WARRANTY
TREE SHALL BE PLANTED 3" ABOVE SURROUNDING GRADE - TREE SHALL BE PLUMB AFTER SETTLEMENT
IF ROOTBALL IS WRAPPED IN PLASTIC OR NON-BIODEGRADABLE MATERIAL REMOVE ENTIRE WRAP - IF WRAPPED IN BURLAP, CUT OPEN AT LEAST 1/3 OF TOP
3" PINE BARK MULCH (UNLESS OTHERWISE NOTED ON PLANS)
HAND EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOT BALL - PRUNE ROOT FLARE - BACKFILL HOLE WITH PLANTING SOIL MIX AS SPECIFIED
EARTH SAUCER TO CONTAIN 3" MULCH - PULL MULCH 3-6" AWAY FROM TRUNK OF TREE (KNOCKDOWN/REMOVE SAUCER AFTER FIRST SEASON)
USE 2"X2" HARDWOOD STAKE (FOR BELOW 3" CAL.)
UNDISTURBED SUBGRADE
NOTE: FOR ALL FALL PLANTING, WRAP TRUNK AS SPECIFIED TO 2ND LOWEST BRANCH - REMOVE THE FOLLOWING SPRING
ALL TREES SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING



Rockland2 feet
Width : 8.50
Track : 7.50
Lock to Lock Time : 6.0
Steering Angle : 40.0

SHADE / FLOWERING TREE DETAIL
1/2" = 1'-0"

USE 2"X2" HARDWOOD STAKE
LOCATE ANCHOR STAKE 18" AWAY FROM TREE TRUNK ON SIDE OF PREVAILING WIND
INSTALL TREE PLUMB - L.A. TO APPROVE FACE/ORIENTATION OF TREES ON SITE
TREE SHALL BE PLANTED 3" ABOVE SURROUNDING GRADE - TREE SHALL BE PLUMB AFTER SETTLEMENT
IF ROOTBALL IS WRAPPED IN PLASTIC OR NON-BIODEGRADABLE MATERIAL REMOVE ENTIRE WRAP - IF WRAPPED IN BURLAP, CUT OPEN AT LEAST 1/3 OF TOP & REMOVE ALL TWINE/ROPE
PULL WIRE CAGE BACK DOWN INTO PLANTING HOLE 1/3 HEIGHT OF ROOTBALL
EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOT BALL - BACKFILL HOLE WITH PLANTING MIX AS SPECIFIED
3" PINE BARK MULCH (UNLESS OTHERWISE NOTED ON PLANS)
TEMPORARY EARTH SAUCER TO CONTAIN 3" MULCH - PULL MULCH 3-6" AWAY FROM TRUNK OF TREE (KNOCKDOWN/REMOVE SAUCER AFTER FIRST SEASON)
UNDISTURBED SUBGRADE
PLANTING STANDARD SOIL MIX:
1/3 PEAT - MANURE BLEND
1/3 HIGH ORGANIC LOAM
1/3 EXISTING SOIL

EVERGREEN TREE DETAIL
1/2" = 1'-0"

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
ACE RUB	1	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	B & B	2-2.5" CAL.	
PLA XLP	1	PLATANUS OCCIDENTALIS / SYCAMORE / LONDON PLANE TREE	B & B	2.5" CAL.	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
PIN STR	3	PINUS STROBUS / WHITE PINE	B & B		5-6' HGT.
FLOWERING TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
COR FLO	12	CORNUS FLORIDA / EASTERN DOGWOOD	B & B	3" CAL.	
CLUMP TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
BET NIG	5	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	B & B		10-12' HGT.
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SIZE	SP
CLE ALN	24	CLETHRA ALNIFOLIA / SUMMERSWEET CLETHRA	5 GAL	3-4" HGT.	
VAC HIG	13	VACCINIUM CORYMBOSUM / Highbush Blueberry	5 GAL	3-4" HGT.	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
NE CON	469 SF	NE. CONSERVATION / WILDLIFE MIX / LOAM, FINE GRADE & SEED	SEED		

SITE PLAN APPROVAL
ROCKLAND PLANNING BOARD

DATE	REVISIONS
	OCTOBER 10, 2021 REMOVE PWS & SEPTIC SYSTEM
	OCTOBER 12, 2021 RESPONSE TO PAT BRENNAN (INV SH 5 & 6)
	OCTOBER 22, 2021 RESPONSE TO BETA REVIEW
	NOVEMBER 18, 2021 RESPONSE TO BETA REVIEW
	NOVEMBER 19, 2021 ADJUST PIPE NETWORKS
	NOVEMBER 29, 2021 RESPONSE TO 11/23/21 BETA REVIEW
	DECEMBER 14, 2021 RESPONSE TO 12/10/21 BETA REVIEW & BOH

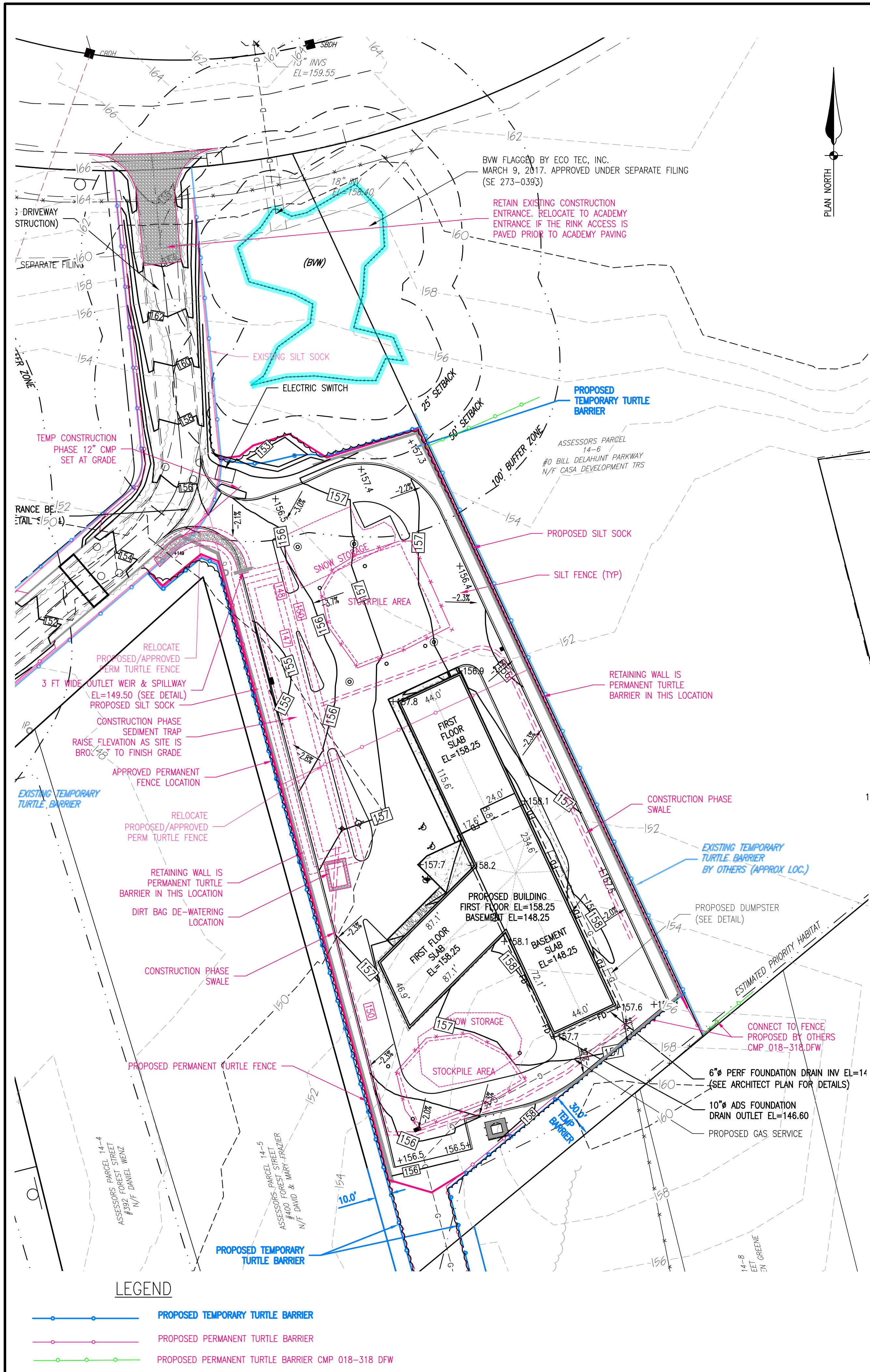


SITE PLAN
LOVELL ACADEMY
#80 BILL DELAHUNT PARKWAY
ASSESSORS LOT 14-092
ROCKLAND, MASSACHUSETTS

PREPARED FOR:
FOREST DELAHUNT DEVELOPMENT LLC
LAUREN MONAHAN MANAGING PARTNER
129 JACOBS LANE
NORWELL MA 02061

AUGUST 16, 2021
SCALE: 1"= 12'-0"
JOB No. 17-276

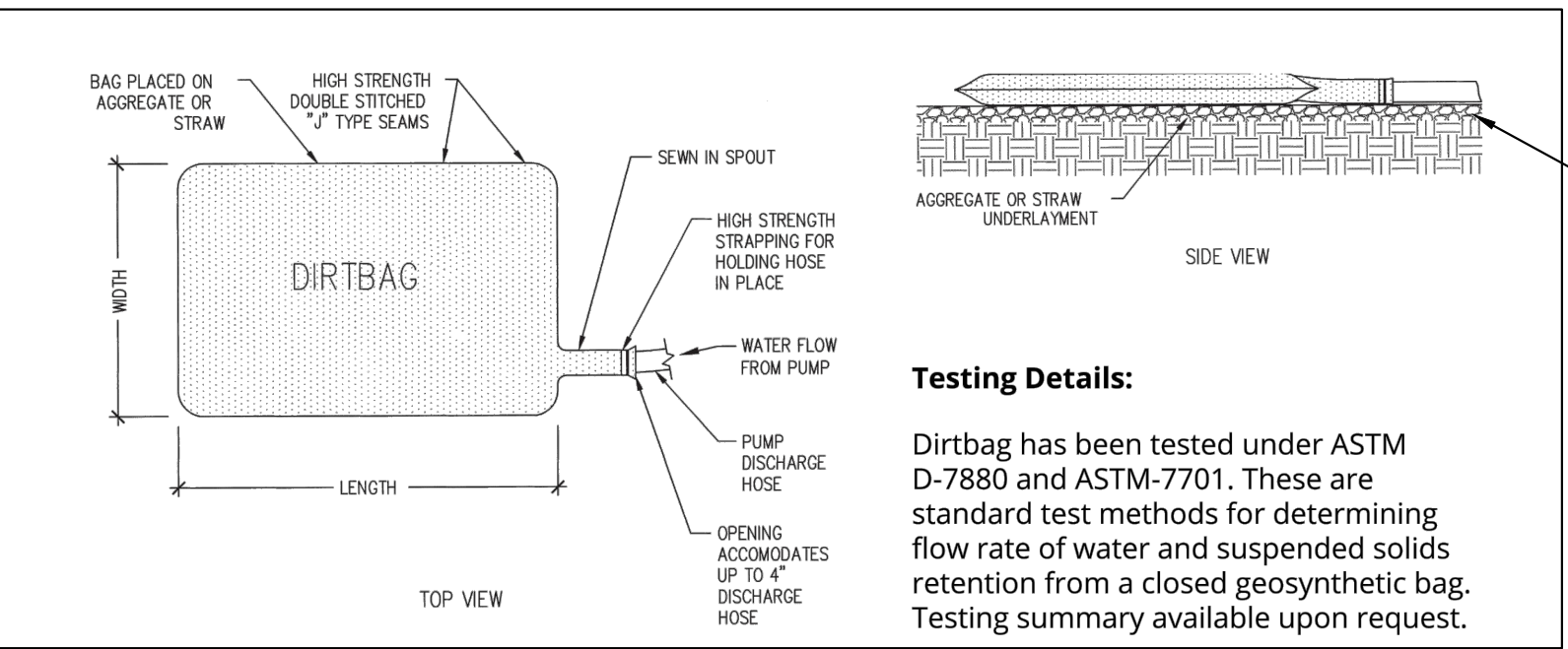
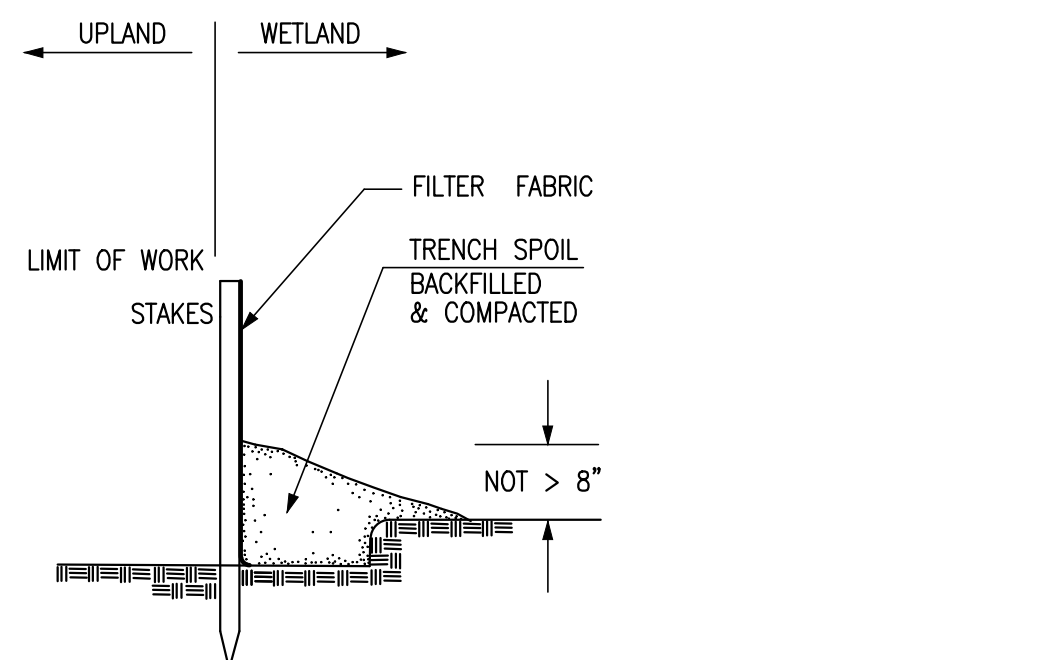
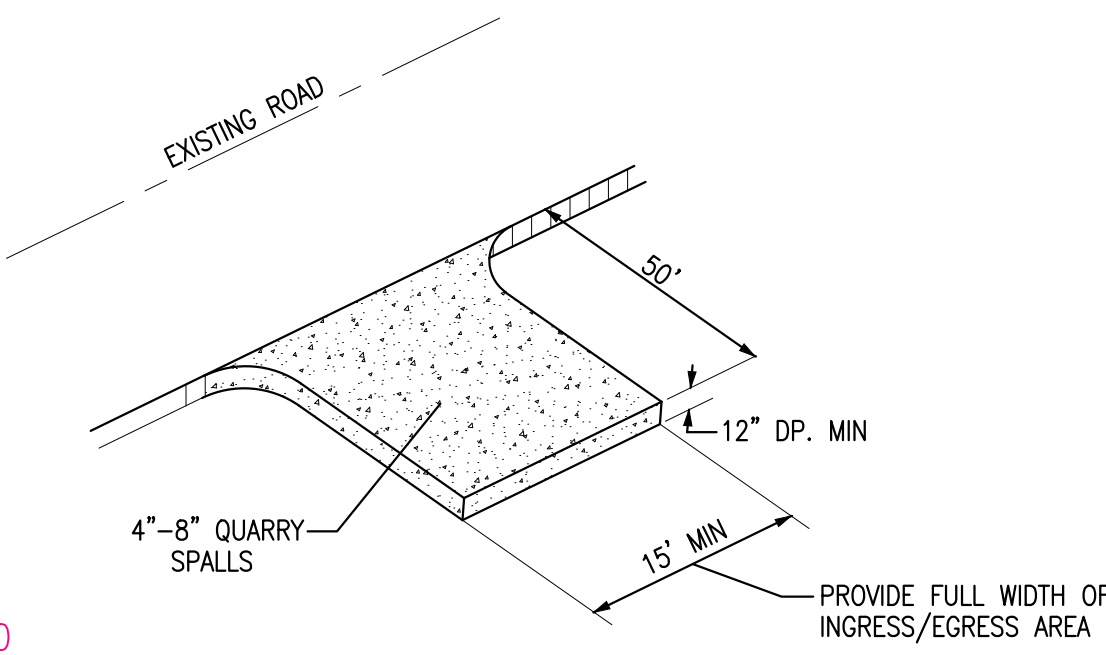
GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378



Project:
Basin Description: CONSTRUCTION PHASE SEDIMENT TRAP

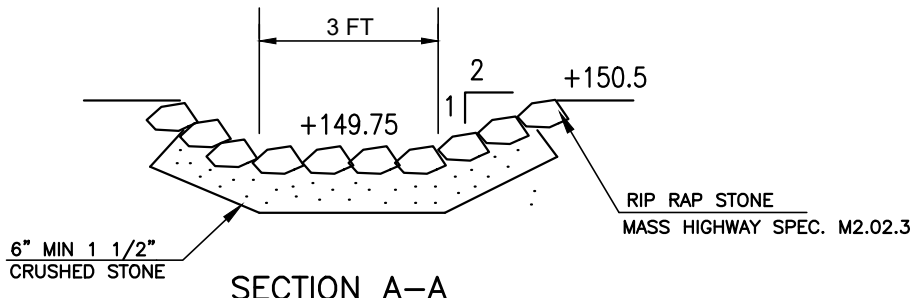
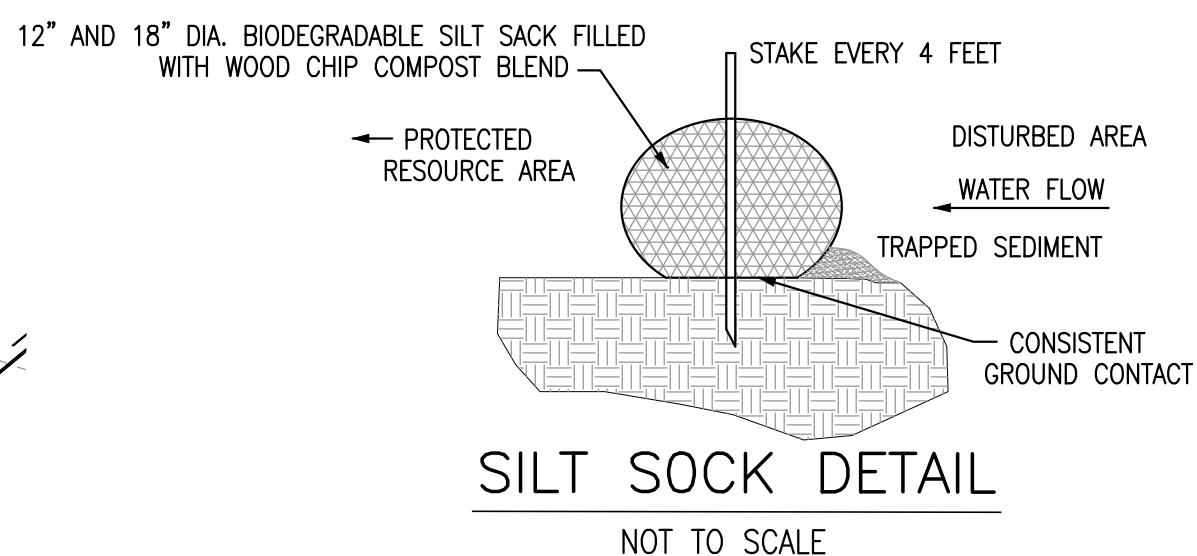
Contour Elevation	Contour Area (sq. ft)	Depth (ft)	Incremental Volume Avg. End (cu. ft)	Cumulative Volume Avg. End (cu. ft)
147.000	2,087.65	N/A	N/A	0.00
148.000	3,639.42	1.000	2863.53	2863.53
149.000	5,319.18	1.000	4479.30	7342.84
150.000	7,126.95	1.000	6223.07	13565.90

10972 CF OF RUNOFF IN 2 YEAR STORM SET 3 FT TRAPEZOIDAL WEIR AT ELEV= 149.50



- DEWATERING BAG NOTES:
1. ANY PUMP DISCHARGES SHALL BE DIRECTED TO THE DEWATERING BAG.
 2. 10'x15' PART #9725-SED AS MANUFACTURED BY BOOM ENVIRONMENTAL PRODUCTS, 1 COFFIN AVENUE, NEW BEDFORD, MA 02746 617-965-0007 SALES@BOOMENVIRO.COM (OR APPROVED EQUAL)
 3. MONITOR BAG AND REPLACE IF DAMAGED OR OVERLOADED WITH SEDIMENT.
 4. MONITOR WATER DISCHARGE AND INSTALL ADDITIONAL EROSION CONTROL SURROUNDING BAG AS NEEDED.
- DEWATERING SHALL BE DIRECTED TO DIRTBAGS, CONSTRUCTION PERIOD SILT TRAPS OR APPROVED ALTERNATIVE PRIOR TO DISCHARGE.

NOTE:
SNOW TO BE REMOVED FROM SITE IF SNOW STORAGE CAPACITY IS EXCEEDED.
SNOW SHALL NOT BE PLACED ON ABUTTING PROPERTIES OR WITHIN 50 FT OF A WETLAND RESOURCE AREA.



SITE PLAN APPROVAL
ROCKLAND PLANNING BOARD

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PREPARED FOR:
FOREST DELAHUNT DEVELOPMENT LLC
LAUREN MONAHAN MANAGING PARTNER
129 JACOBS LANE
NORWELL MA 02061

AUGUST 16, 2021
SCALE: 1"= 40'
JOB No. 17-276

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