

FOR REGISTRY USE ONLY



RECORD OWNER:
DELUCA PROPERTIES LIMITED PARTNERSHIP
885 WASHINGTON STREET
WEYMOUTH MA 02189
CERTIFICATE 121663 - LOT 9
CERTIFICATE 118363 - LOT 38
CERTIFICATE 119222 - LOT 41
CERTIFICATE 121663 - LOT 42

ROCKLAND PLANNING BOARD
SITE PLAN APPROVAL

DATE _____

REVISIONS	
SEPTEMBER 21, 2020	RESPONSE TO PLANNING BOARD PEER REVIEW COMMENTS

SITE PLAN - PRIMROSE SCHOOL
HINGHAM STREET
ASSESSORS MAP 9 LOTS 9, 38, 41 & 42
ROCKLAND, MASSACHUSETTS

PREPARED FOR:
ADA ARCHITECTS
C/O MELISSA PLESS
17710 DETROIT ROAD
LAKEWOOD, OHIO 44107

AUGUST 4, 2020
SCALE: 1"= 30'
JOB No. 20-183

GRADY CONSULTING, L.L.C.
Civil Engineers, Land Surveyors & Landscape Architects
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

ZONE: H-1 INDUSTRIAL PARK HOTEL
WATERSHED PROTECTION DISTRICT
EXISTING USE: VACANT
PROPOSED USE: SCHOOL / DAYCARE

MGL ch 40A Section 3- No zoning ordinance or bylaw in any city or town shall prohibit, or require a special permit for, the use of land or structures, or the expansion of existing structures, for the primary, accessory or incidental purpose of operating a child care facility, provided, however, that such land or structures may be subject to reasonable regulations concerning the bulk and height of structures and determining yard sizes, lot area, setbacks, open space, parking and building coverage requirements. As used in this paragraph, the term "child care facility" shall mean a child care center or a school-aged child care program, as defined in section 1A of chapter 150.

PARCEL SIZE 571,389 S.F. 74,135 SF CONTIGUOUS UPLAND

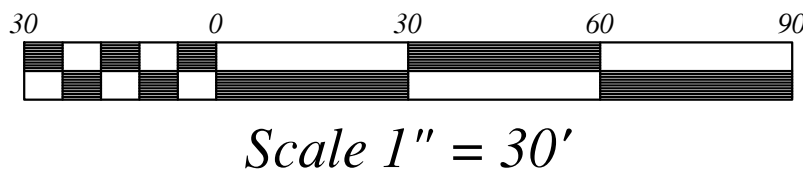
DIMENSIONAL REQUIREMENTS: 415-5 INTERPRETATION OF BOUNDARIES:
WHERE A DISTRICT BOUNDARY LINE DIVIDES A LOT EXISTING AT THE TIME SUCH LINE IS ADOPTED, THE REGULATIONS APPLYING TO THE PORTION OF SUCH LOT IN THE LESS RESTRICTED DISTRICT MAY BE CONSIDERED AS EXTENDING NOT MORE THAN 30 FEET INTO THE MORE RESTRICTED PORTION, BUT ONLY IF THE LOT HAS FRONTAGE ON A STREET IN THE LESS RESTRICTED DISTRICT. THE PROVISION SHALL NOT BE USED TO DIMINISH THE BUFFER ZONE (REAR YARD DIMENSIONS) REQUIREMENTS BETWEEN RESIDENTIAL AND NON-RESIDENTIAL DISTRICTS AS CONTAINED IN § 415-22.

REQUIRED	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	571,389 S.F.	571,389 S.F.	571,389 S.F.
LOT FRONTAGE	110 FT	227.15 FT	227.15 FT
LOT WIDTH @ 50' SETBACK	110'	258.63'	258.63'
FRONT YARD	50 FT	---	59.3 FT
SIDE YARD	30 FT **	---	40.4 FT
REAR YARD	30 FT **	---	103.4 FT
**50 FT ABUTTING RESIDENTIAL DISTRICT			

	ALLOWED		
MAX BUILDING COVERAGE	50%	----	1.2%
BUILDING HEIGHT			
STORIES	3	----	2
HEIGHT	36 FT	----	30

ZBL 415-35 - OFF STREET PARKING REQUIREMENTS: D(4) SCHOOLS 1.5 SPACES PER CLASSROOM AND 1 SPACE FOR EVERY NON-PROFESSIONAL EMPLOYEE
REQUIRED PARKING: 14 CLASSROOMS , 10 NON-PROFESSIONAL EMPLOYEES
REQUIRED: 14x1.5 + 10 = 31 SPACES REQUIRED
PROPOSED = 47 SPACES PROPOSED (30% ALLOWED TO BE COMPACT 9'x18': 14 ALLOWED, 14 PROPOSED)

- WAIVERS FROM THE RULES AND REGULATIONS OF THE ROCKLAND PLANNING BOARD
- SECTION III.C.2.a.1 TO USE HDPE DRAIN PIPE INSTEAD OF CLASS III RCP AND REDUCTION IN PIPE COVER REQUIREMENTS TO LESS THAN 2.5 FT.
 - SECTION III.C.2.F.1 SUBSURFACE DETENTION/RETENTION BASINS SHALL NOT BE PERMITTED WITHOUT A WAIVER.
 - SECTION III.C.2.F.13 A FIFTY (50) FOOT BUFFER ZONE OF EXISTING VEGETATION SHALL BE RETAINED BETWEEN ALL BASIN COMPONENTS AND ADJACENT USES, STRUCTURES AND PARCEL PROPERTY LINES. A THIRTY(30) FOOT BUFFER ZONE OF EXISTING VEGETATION SHALL BE RETAINED BETWEEN ALL POINT SOURCE DISCHARGES OF STORMWATER AND SURFACE WATERS AND/OR WETLANDS.
 - SECTION III.B.1.g.2 TO ALLOW REDUCED SIGHT TRIANGLES FROM 450 FT TO 400 FT.

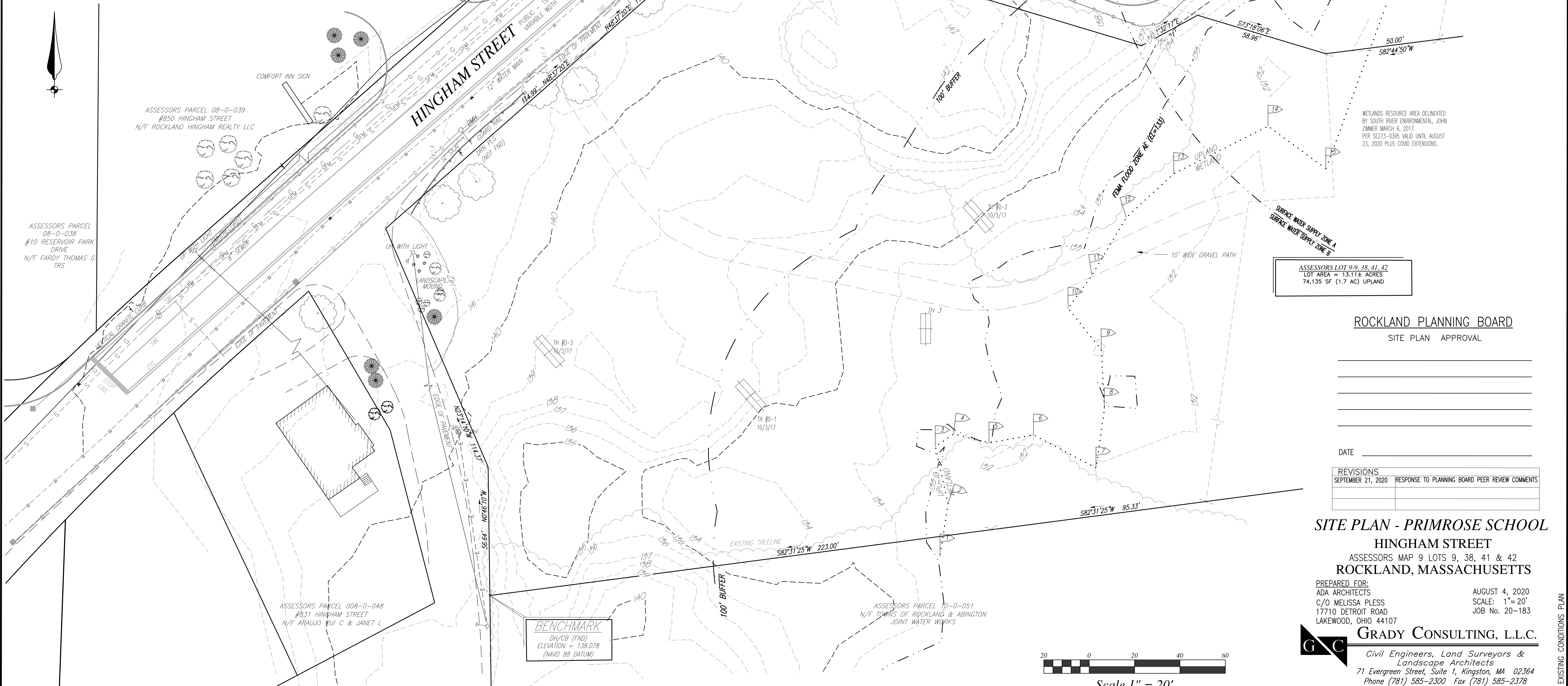


ZONING PLAN

T.H.#1 EL. 140.46	T.H.#2 EL. 137.33	T.H.#3 EL. 132.93	T.H.#D-1 EL. 136.27	T.H.#D-2 EL. 135.06	T.H.#D-3 EL. 139.34
0"-78" FILL	0"-42" FILL	0"-10" FILL	0"-36" FILL	0"-6" FILL	0"-40" FILL
133.96	133.83	132.10	133.27	133.93	136.00
78"-86" A LOAM	42"-54" C1 FINE LOAMY SAND	10"-60" C1 FINE SAND	36"-50" C1 GRAVELLY SAND	6"-10" A LOAM	40"-44" A LOAM
133.29	132.83	127.93	132.10	133.60	135.67
86"-106" B LOAMY SAND	54"-70" C GRAVELLY COARSE SAND	60"-84" C GRAVELLY COARSE SAND	50"-96" C2 MEDIUM TO COARSE SAND	24"-48" C1 GRAVELLY SAND	44"-100" C1 GRAVELLY LOAMY SAND
131.62	131.49	125.93	130.34	128.93	131.00
106"-120" C GRAVELLY COARSE SAND				48"-100" C2 MEDIUM TO COARSE SAND	100"-114" C2 LOAMY SAND
130.46				127.77	129.84
D= 10'-0" MOTTLING 4'-6" (EL=131.62) 8'-10" (EL=131.62)	D= 5'-10" MOTTLING 4'-6" (EL=132.83) 5'-0" (EL=132.33)	D= 7'-0" MOTTLING 2'-4" (EL=130.60) 3'-0" (EL=129.93) 5'-0" (EL=127.93)	D= 8'-0" MOTTLING 3'-4" (EL=132.93) NO WEeping OR STANDING WATER	D= 8'-4" MOTTLING 2'-10" (EL=132.77) 7'-2" (EL=127.89) 7'-5" (EL=127.64)	D= 9'-6" MOTTLING 4'-6" (EL=134.84) NO WEeping OR STANDING WATER

SOILS TESTING BY KEVIN GRADY, GRADY CONSULTING, L.L.C. APRIL 13, 2017.
SOIL LOGS

SOILS TESTING BY KEVIN GRADY, GRADY CONSULTING, L.L.C. WITNESSED BY HENRY NOVER, P.E. OCTOBER 3, 2017.



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EXISTING CONDITIONS PLAN

SIGNAGE DETAILS (SEE SHEET 11)

ASSESSORS PARCEL 09-0-003
#900 HINGHAM
N/F HINGHAM STREET LLC

ASSESSORS PARCEL 09-0-039
#851 HINGHAM STREET
N/F ROCKLAND REAL EST INVS CO LLC

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WETLANDS RESOURCE AREA DELINEATED
BY SOUTH RIVER ENVIRONMENTAL, JOHN
ZIMMER MARCH 6, 2017.
PER SE273-0395 VALID UNTIL AUGUST
23, 2020 PLUS COVID EXTENSIONS.

ROCKLAND PLANNING BOARD
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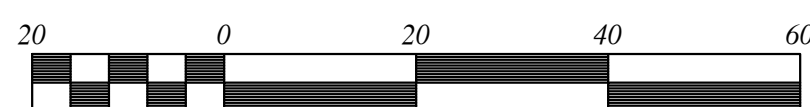
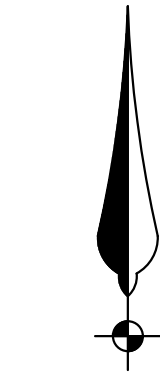
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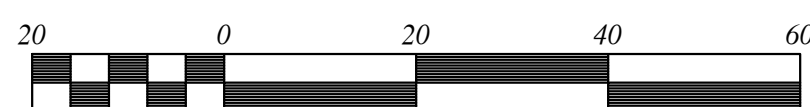
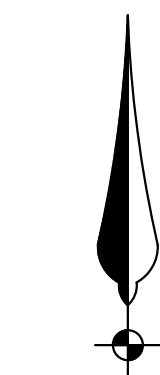
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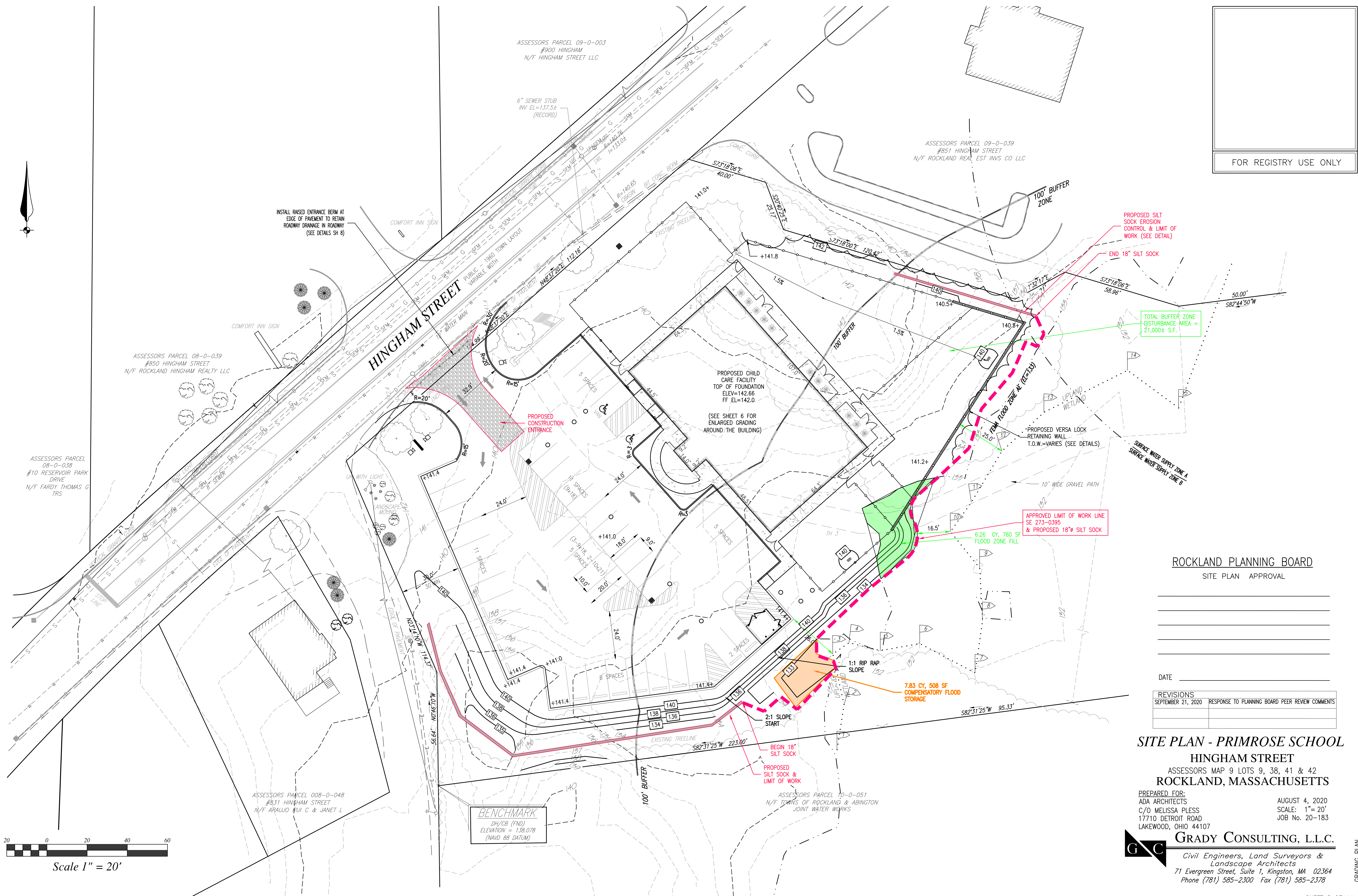


Scale 1" = 20'

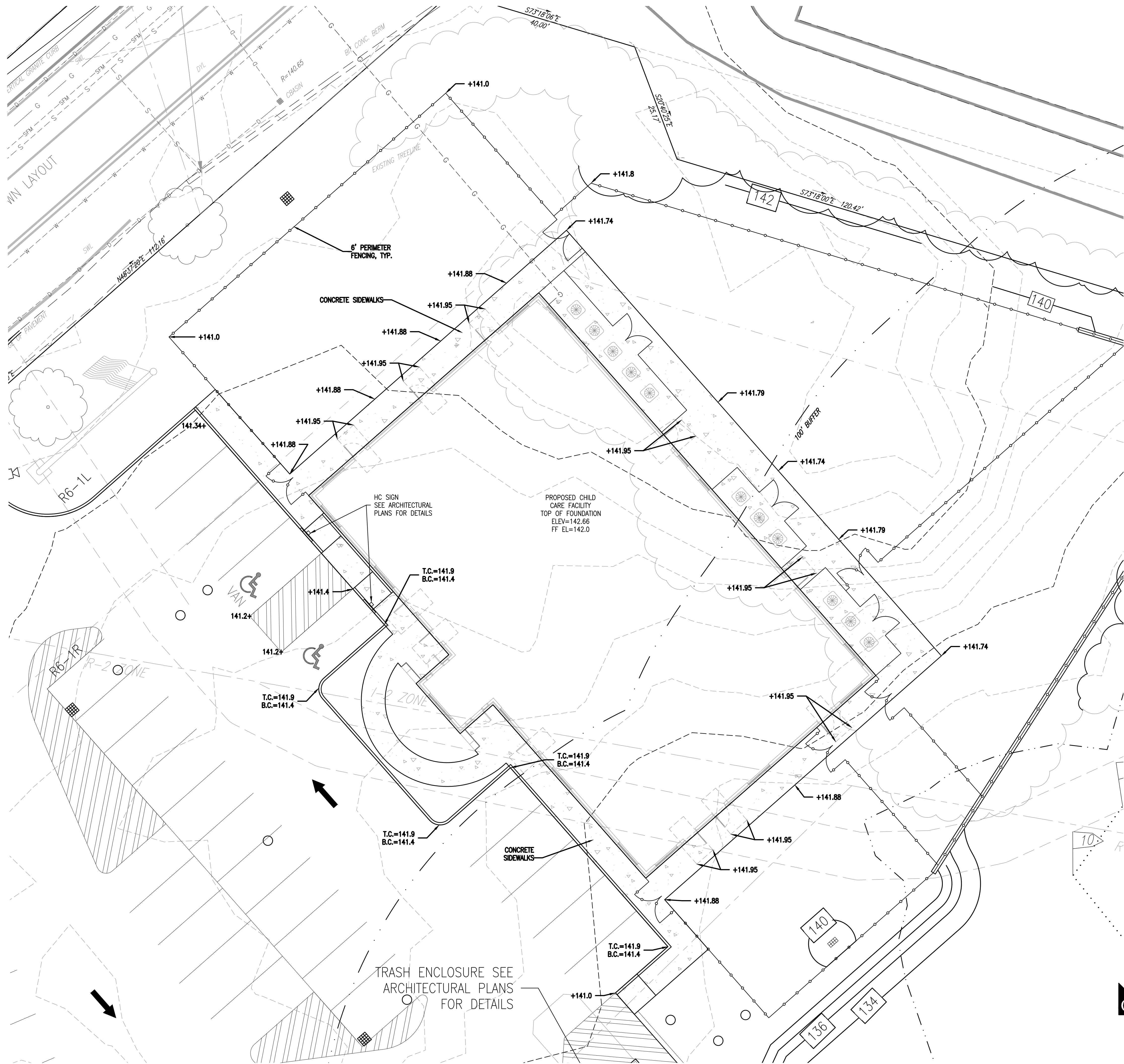




Scale 1" = 20'



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NOTE:
CONCRETE AREAS AT EXTERIOR DOORS SHALL BE FLUSH WITH FINISH FLOOR AND HAVE A 1% MAXIMUM SLOPE AWAY FROM THE BUILDING. THIS AREA SHALL BE 5'x5' AND EXTEND 1'-6" PAST THE LATCH SIDE OF THE DOOR. ADJACENT CONCRETE SHALL BE FLUSH AND SLOPE AWAY AT 2%.

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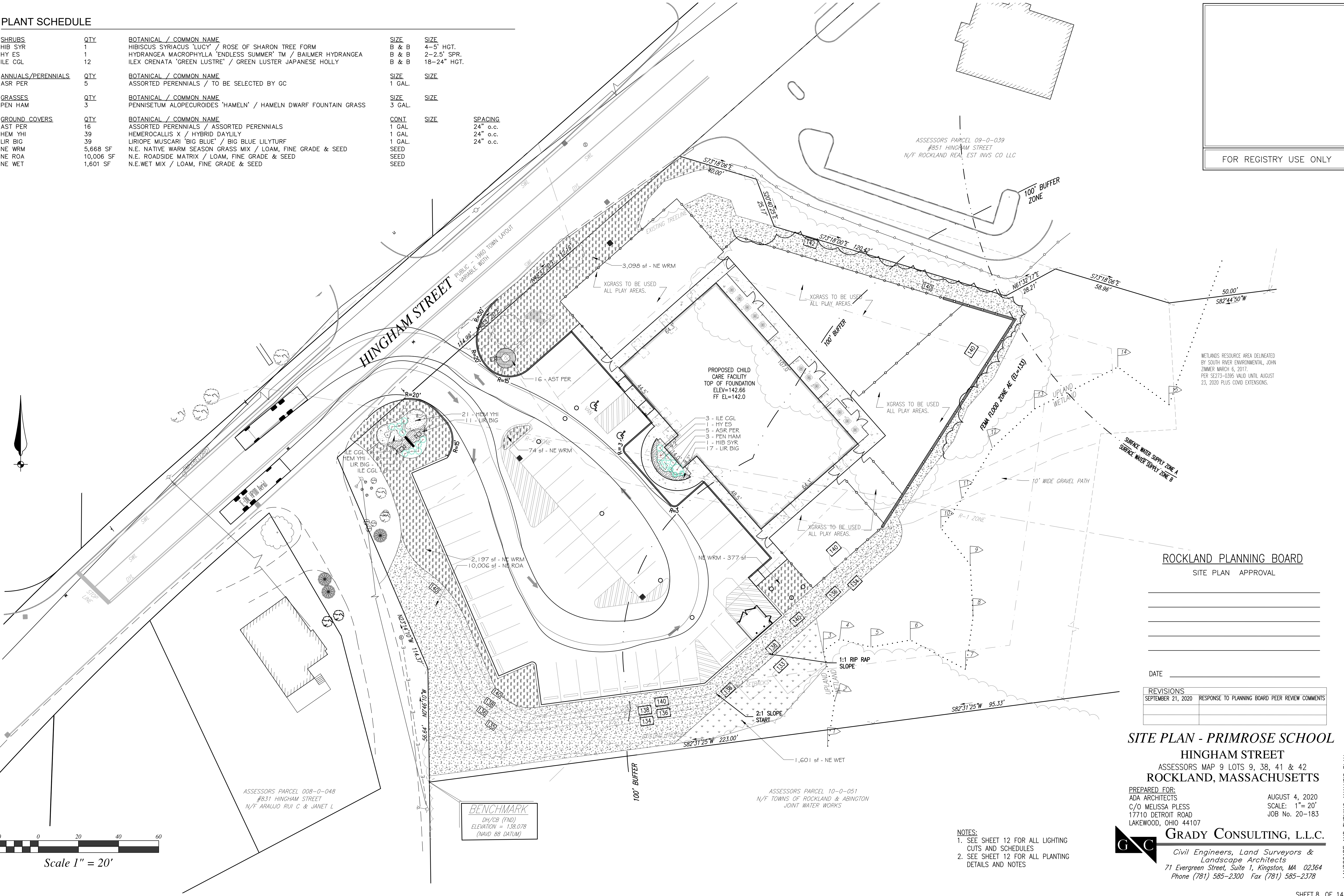
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GRADING PLAN

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SIZE
HIB SYR	1	HIBISCUS SYRIACUS 'LUCY' / ROSE OF SHARON TREE FORM	8 & B	4-5' HGT.
HY ES	1	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER' TM / BAILMER HYDRANGEA	8 & B	2-2.5' SPR.
ILE CGL	12	ILEX CRENATA 'GREEN LUSTRE' / GREEN LUSTER JAPANESE HOLLY	8 & B	18-24" HGT.
ANNUALS/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE	SIZE
ASR PER	5	ASSORTED PERENNIALS / TO BE SELECTED BY GC	1 GAL.	
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	SIZE
PEN HAM	3	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS	3 GAL.	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE
AST PER	16	ASSORTED PERENNIALS / ASSORTED PERENNIALS	1 GAL	24" o.c.
HEM YHI	39	HEMEROCALLIS X / HYBRID DAYLILY	1 GAL	24" o.c.
LIR BIG	39	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	1 GAL.	24" o.c.
NE WRM	5,668 SF	N.E. NATIVE WARM SEASON GRASS MIX / LOAM, FINE GRADE & SEED	SEED	
NE ROA	10,006 SF	N.E. ROADSIDE MATRIX / LOAM, FINE GRADE & SEED	SEED	
NE WET	1,601 SF	N.E.WET MIX / LOAM, FINE GRADE & SEED	SEED	



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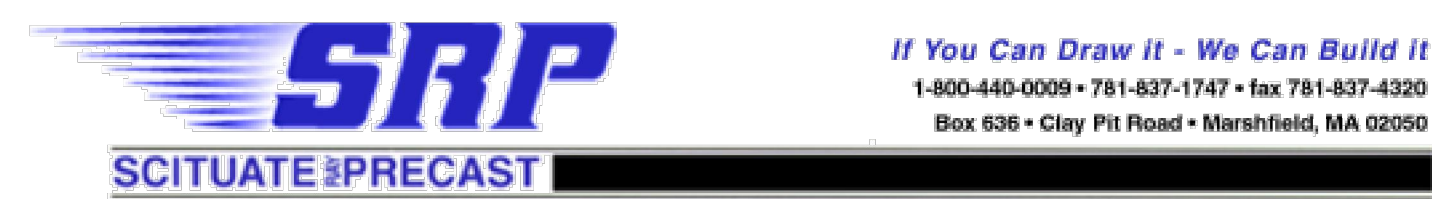
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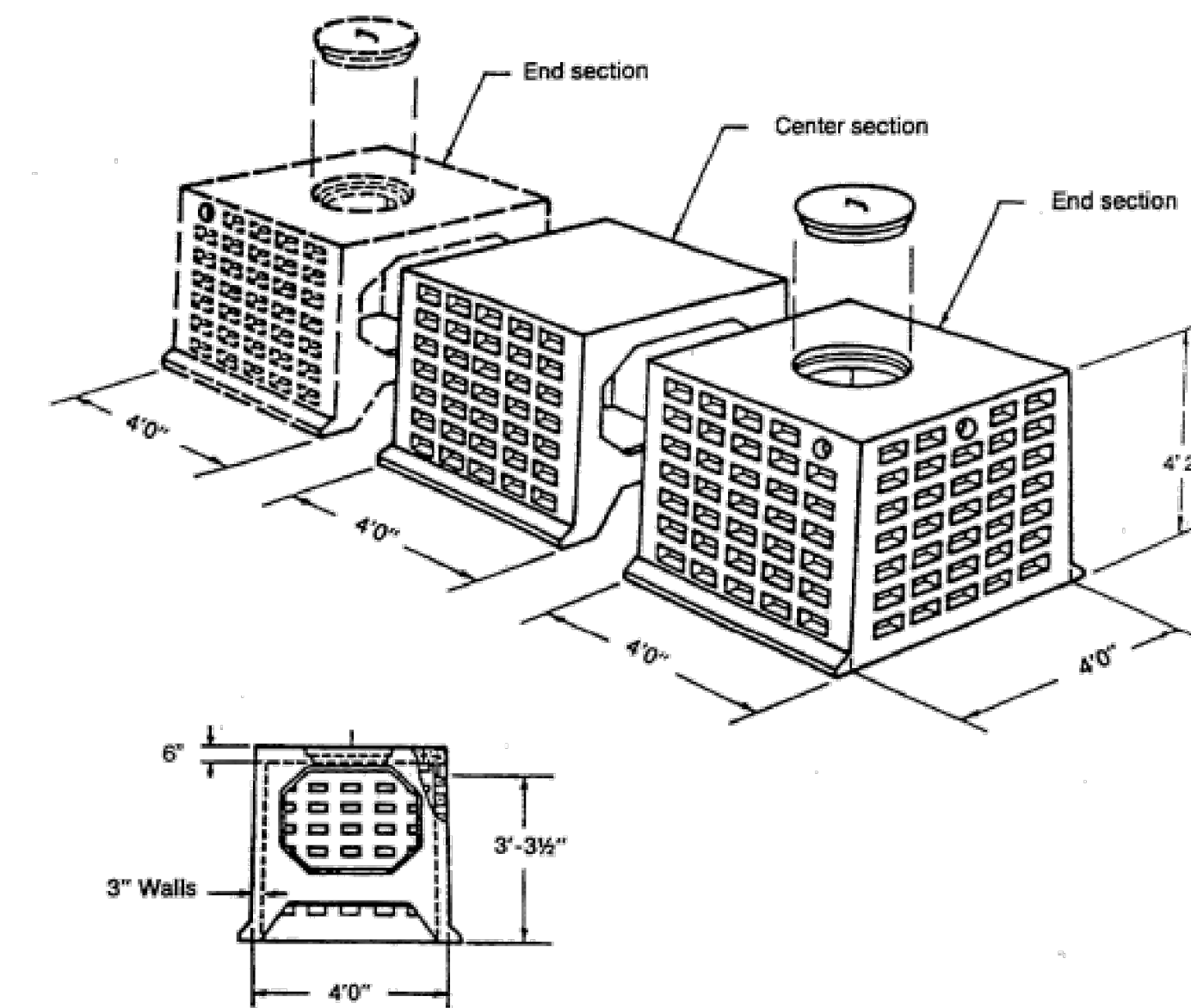
- NOTES:
- SEE SHEET 12 FOR ALL LIGHTING CUTS AND SCHEDULES
 - SEE SHEET 12 FOR ALL PLANTING DETAILS AND NOTES

LANDSCAPE AND TURNING ANALYSIS PLAN

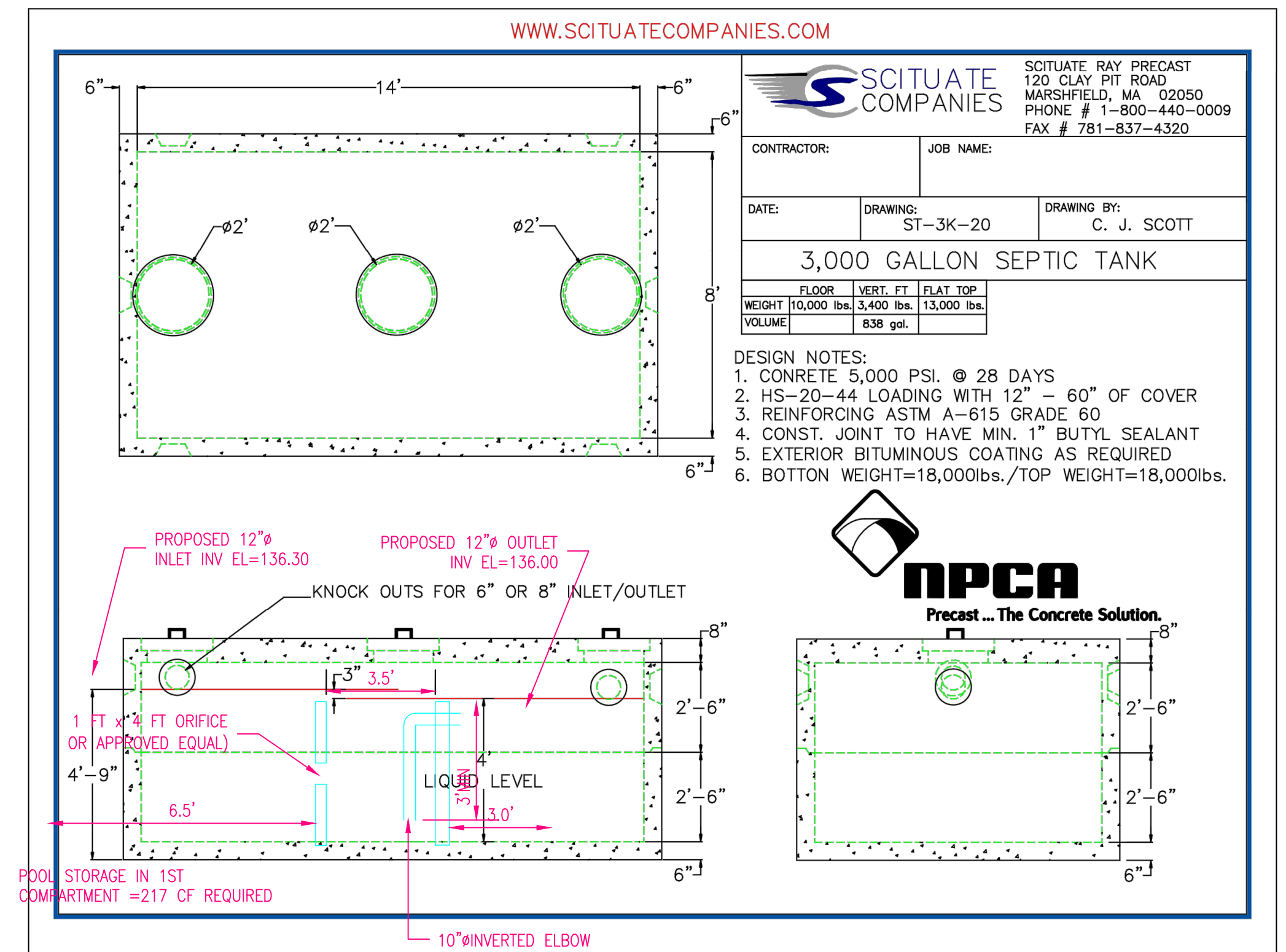


Design notes:

1. Available in 4' sections. A combination of sections may be used to reach desired length.
2. Concrete 4,000 P.S.I. @28 days
3. Available in with 20" or 24" straight opening or concrete cover
4. Available in H-10 or h-20 covers

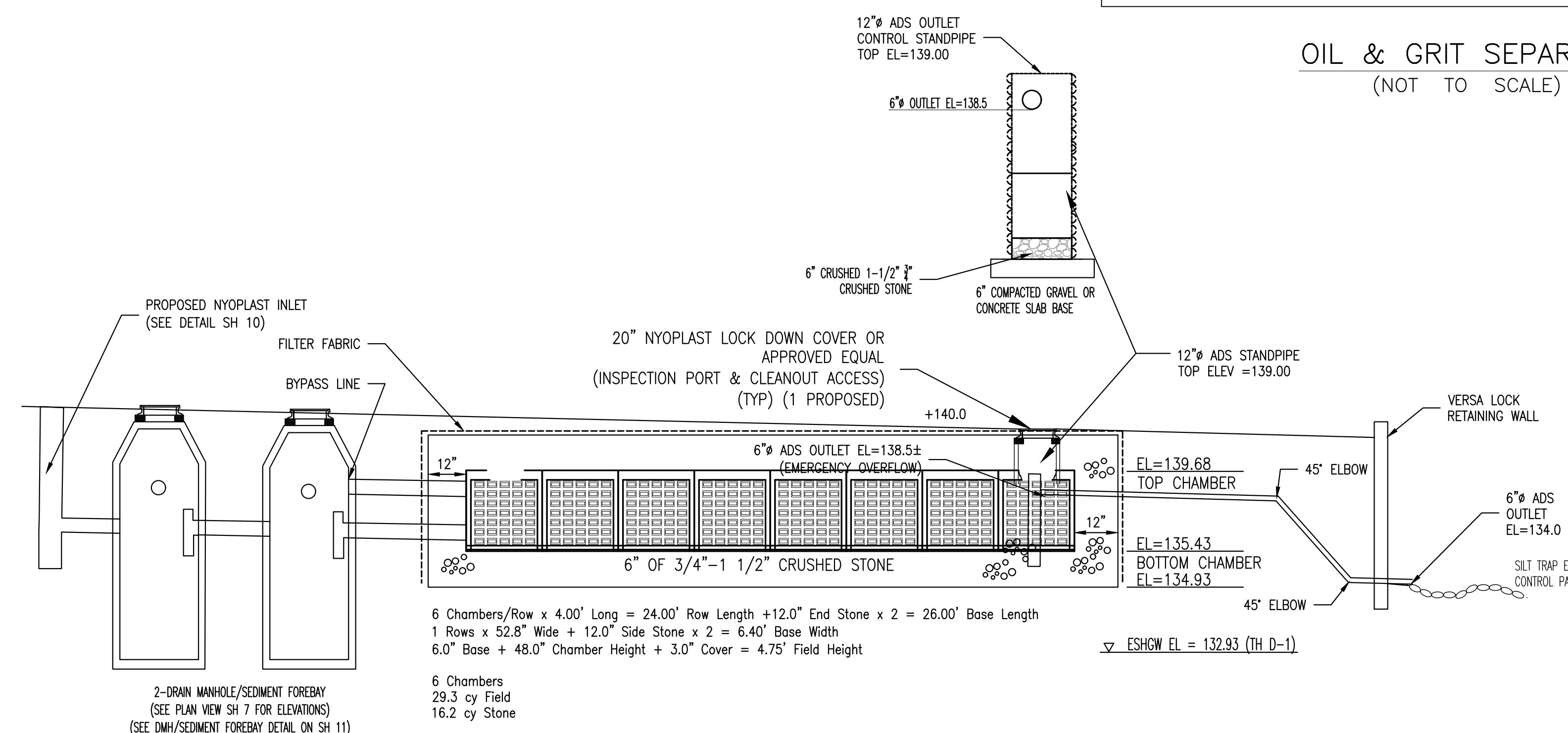


GALLEY SYSTEM #1 DETAIL
(NOT TO SCALE)



OIL & GRIT SEPARATOR
(NOT TO SCALE)

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DETAILS: DRAINAGE

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Event (cfs)	Inflow (cfs)	Outflow (cfs)	Discarded (cfs)	Primary (feet)	Elevation	Storage (cubic-feet)
2-Year	2.43	0.20	0.20	0.00	136.39	2,754
10-Year	3.52	0.21	0.21	0.00	137.23	4,616
25-Year	4.27	0.22	0.22	0.00	137.91	6,113
100-Year	5.52	0.29	0.24	0.05	139.15	8,584

SUBSURFACE GALLEY SYSTEM #1

(NOT TO SCALE)

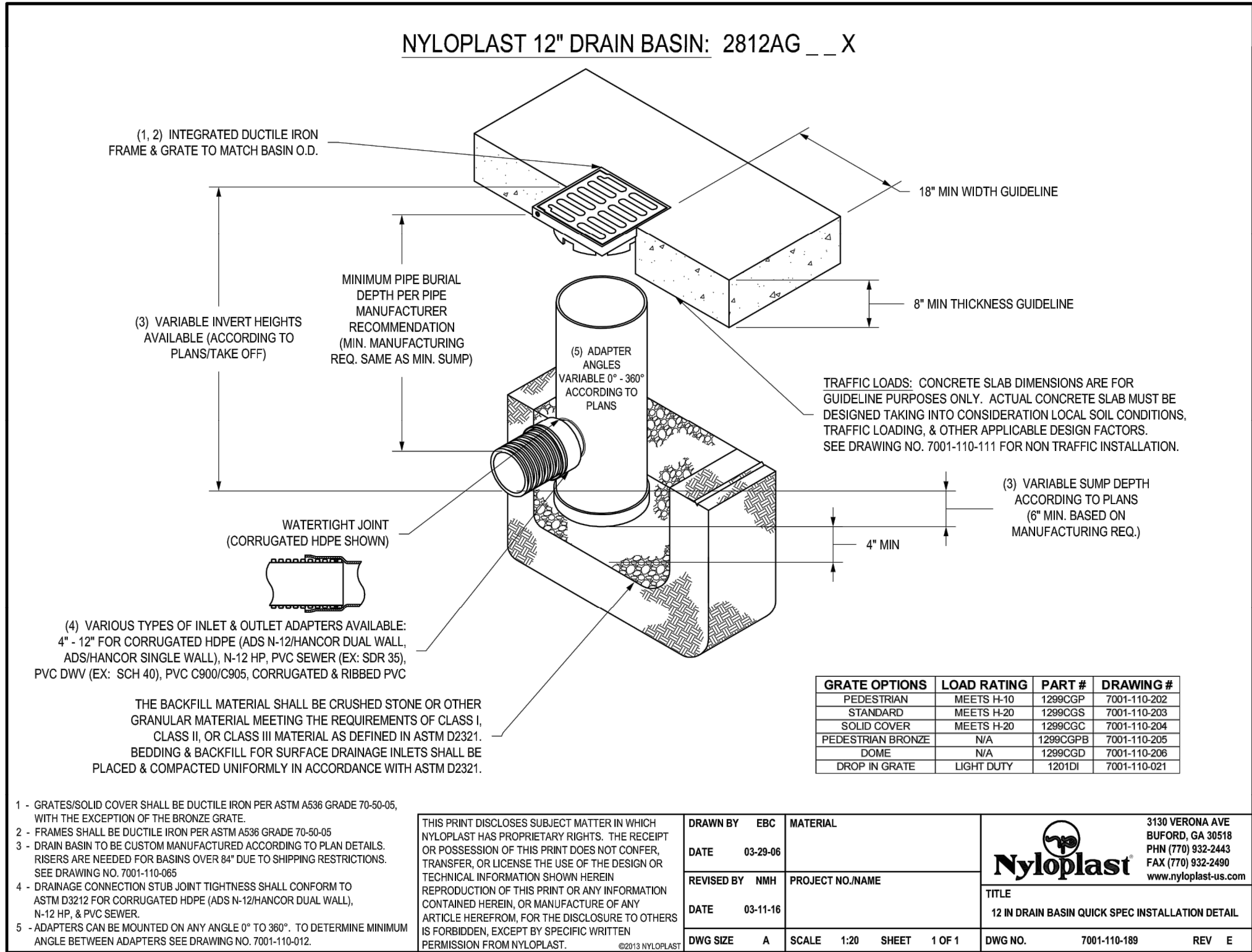
SUBSURFACE GALLEY SYSTEM #1 DETAILS
(NOT TO SCALE)

Event (cfs)a	Inflow (cfs)	Discarded (feet)	Elevation	Storage (cubic-feet)
2-Year	0.01	0.01	134.94	1
10-Year	0.07	0.04	135.48	38
25-Year	0.17	0.05	136.52	148
100-Year	0.39	0.08	138.83	392

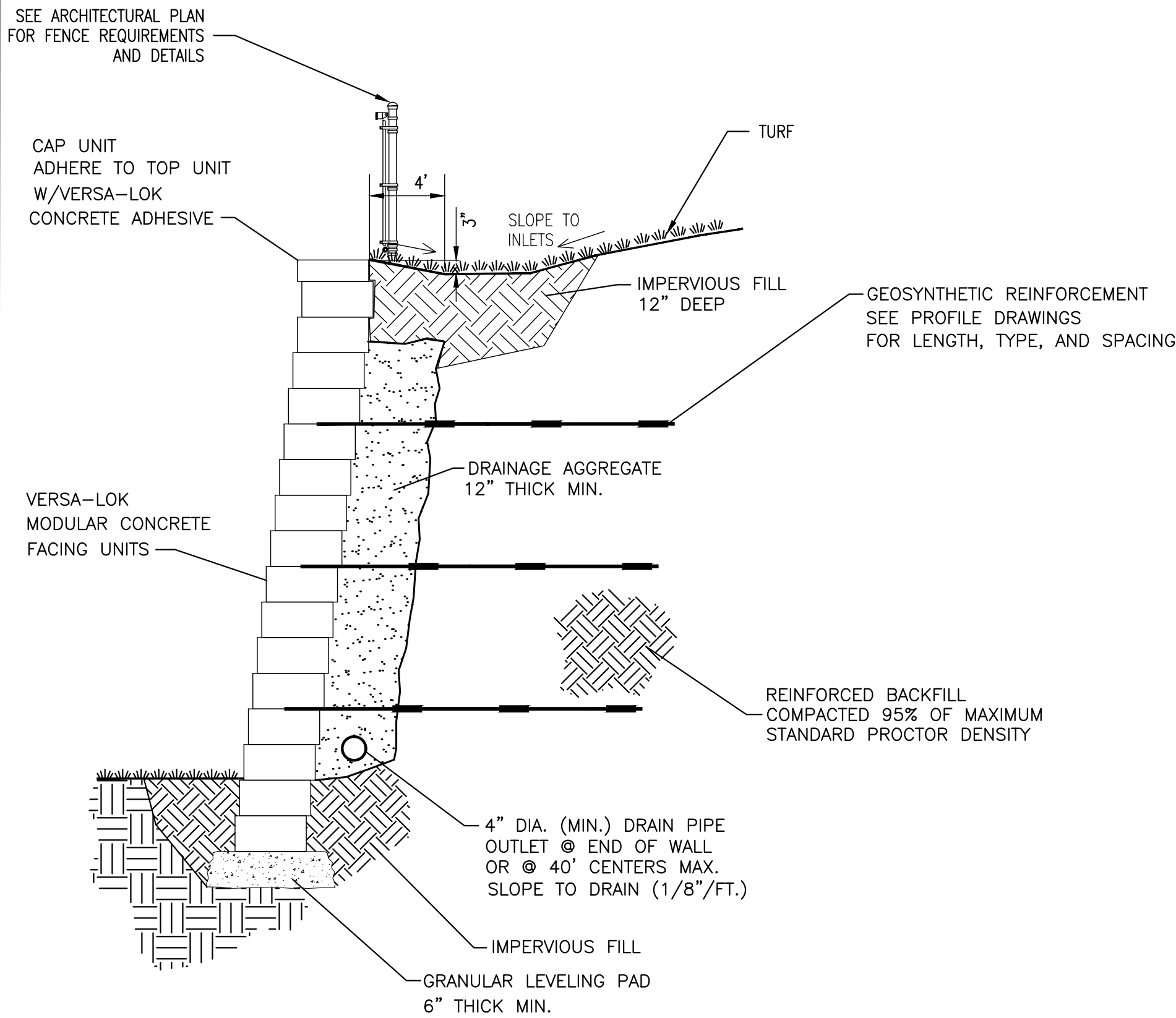
SUBSURFACE GALLEY SYSTEM #2

(NOT TO SCALE)

הכרזת מלחמה

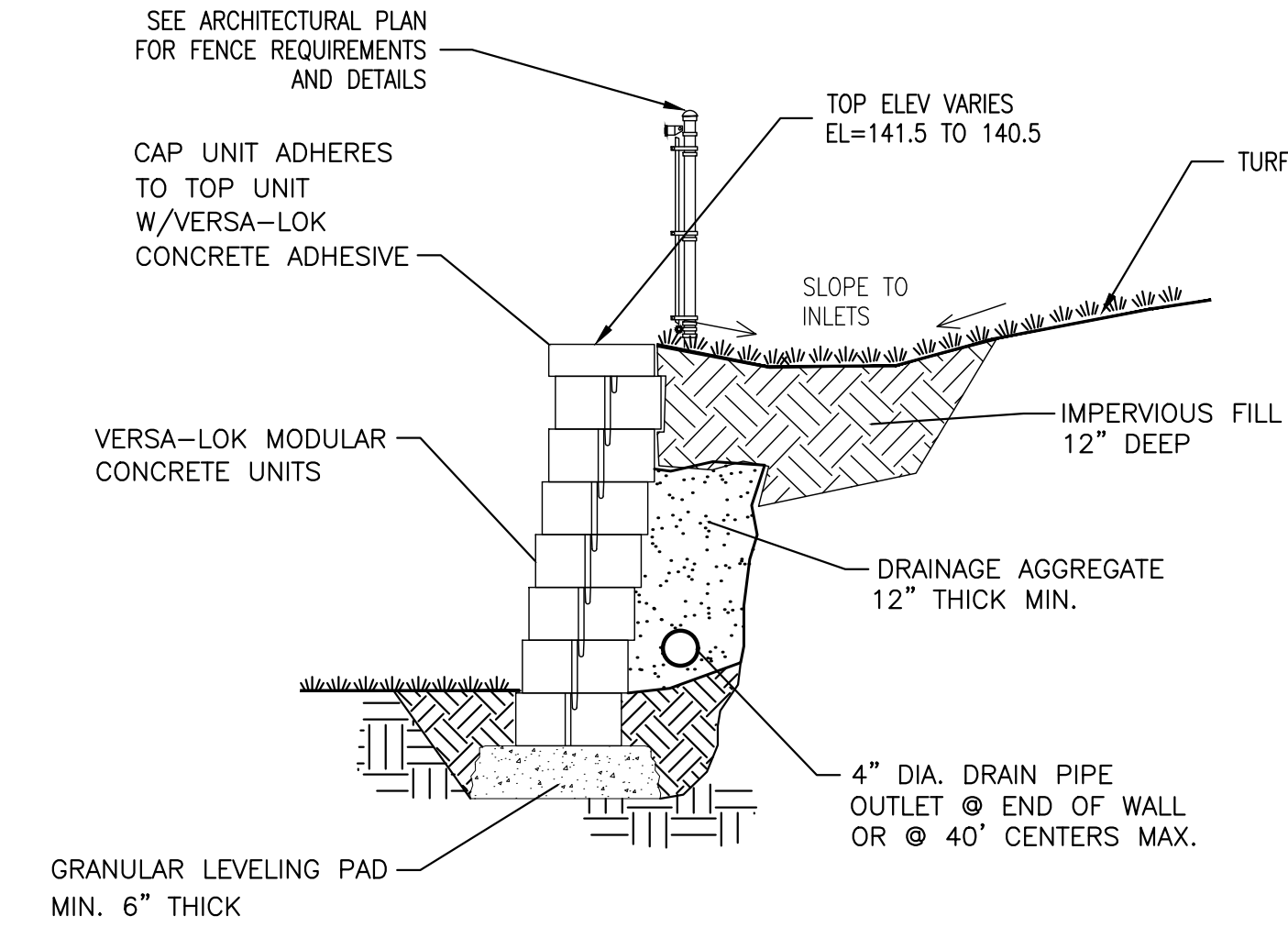


All drain basins used inside the playground shall be Nyloplast 12" x 6" N-12 and SW (2712AG6N) inline drains with 12" square H-10 rated pedestrian grates with locking covers. NO metal inlet covers or manhole can occur in playgrounds.

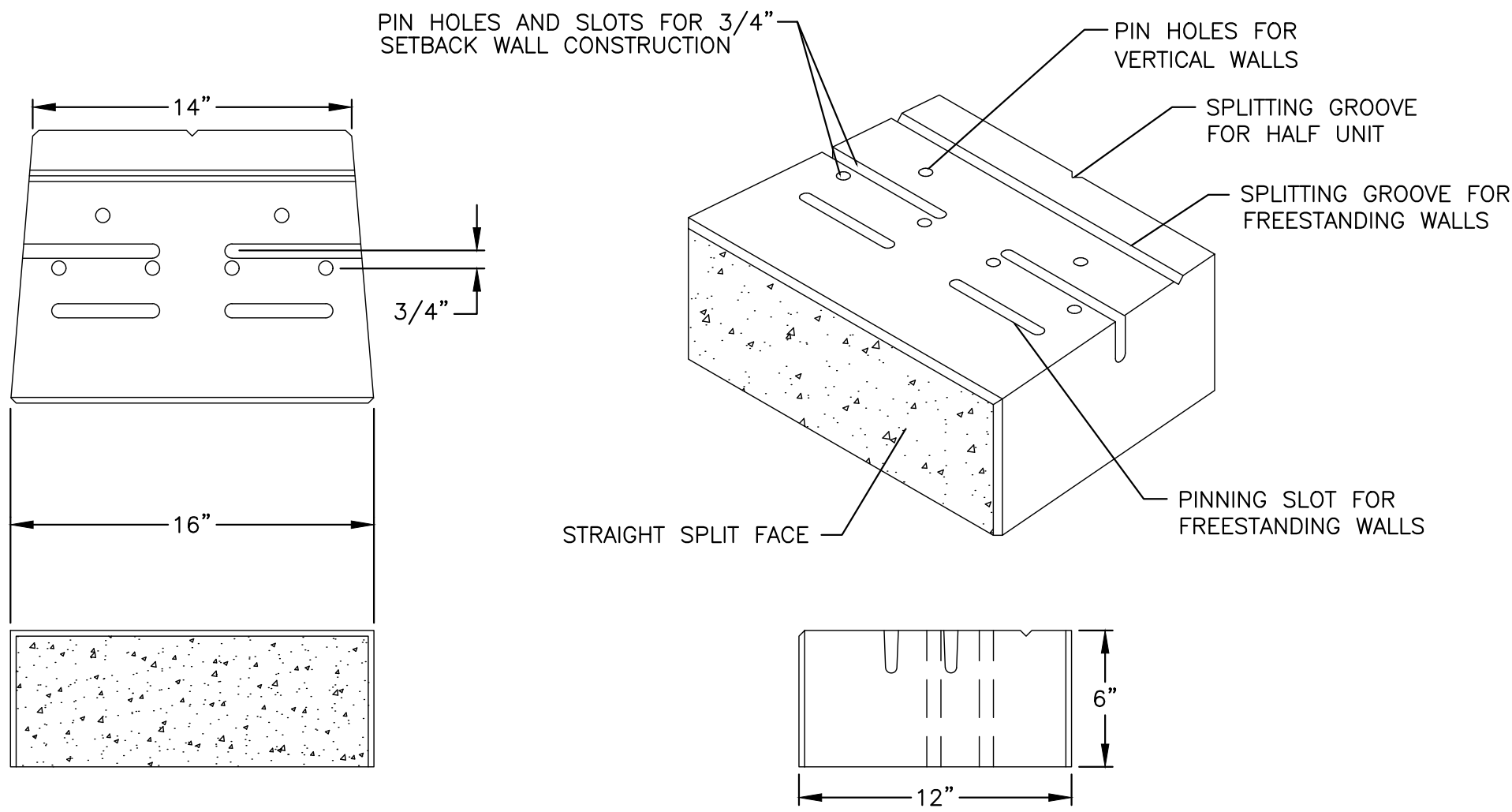


TYPICAL SECTION—REINFORCED RETAINING WALL
MODULAR CONCRETE UNIT
SCALE: NONE

NOTE:
STRUCTURAL ENGINEERING DESIGN TO BE COMPLETED BY OTHERS



TYPICAL SECTION—UNREINFORCED RETAINING WALL
SCALE: NONE



VERSA-LOK UNIT
UNIT DIMENSIONS
SCALE: NONE

New England Municipal and Construction Castings Massachusetts Municipal Drainage Frames and Grates

BEEHIVE FRAMES AND GRATES



0MA801300020 22" x 6" frame and beehive grate

EJ BEEHIVE GRATE OR APPROVED EQUAL

BEEHIVE GRATE (CB#3)
(NOT TO SCALE)

Beehive Assembly Options

Frame Height	Flange Size	Grate Size	Grate Height	Product Number
6	28 1/4	22	7	0MA801300020
7	35 7/16	26	6	0MN120500025

Note: all dimensions are in inches.

ADS

TECHNICAL NOTE

Minimum and Maximum Burial Depth for Single Wall Corrugated HDPE Pipe

TN 2.03
July 2009

Introduction

The information in this document is designed to provide answers to general cover height questions; the data provided is not intended to be used for project design. The design procedure described in the Structures section (Section 2) of the Drainage Handbook provides detailed information for analyzing most common installation conditions. This procedure should be utilized for project specific designs.

The two common cover height concerns are minimum cover in areas exposed to vehicular traffic and maximum cover heights. Either may be considered "worst case" scenario from a loading perspective, depending on the project conditions.

Minimum Cover in Traffic Applications

Pipe diameters from 3- through 24-inch (75-600 mm) installed in traffic areas (AASHTO H-25 or HS-25 loads) must have at least one foot (0.3m) of cover over the pipe crown. The backfill envelope must be constructed in accordance with the Installation section (Section 5) of the Drainage Handbook and the requirements of ASTM D2321. The backfill envelope must be of the type and compaction listed in Table 2-3 of the Drainage Handbook. In Table 1 below, this condition is represented by a Class III material compacted to 90% standard Proctor density, although other material can provide similar strength at slightly lower levels of compaction. Structural backfill material should extend six inches (0.15m) over the crown of the pipe; the remaining cover should be appropriate for the installation and as specified by the design engineer. If settlement or rutting is a concern, it may be appropriate to extend the structural backfill to grade. Where pavement is involved, sub-base material can be considered in the minimum burial depth. While rigid pavements can be included in the minimum cover, the thickness of flexible pavements should not be included in the minimum cover.

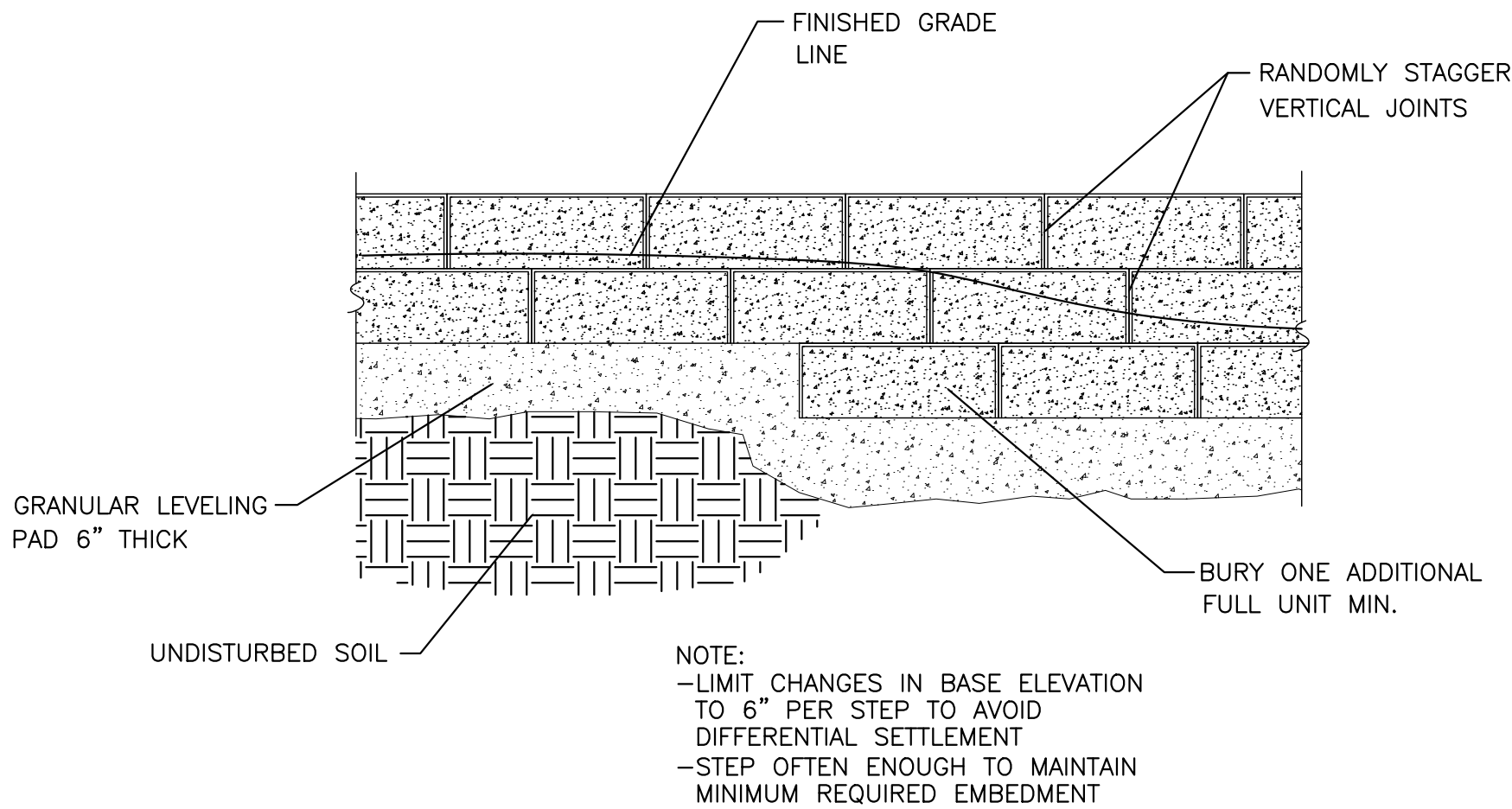
Additional information that may affect the cover requirements is included in the Installation section (Section 5) of the Drainage Handbook. Some examples of what may need to be considered are temporary heavy equipment, construction loading, paving equipment and similar loads that are less than the design load, the potential of pipe flotation, and the type of surface treatment which will be installed over the pipe zone.

Table 1
Minimum Cover Requirements for ADS Single Wall Highway and Heavy Duty Pipe with AASHTO H-25 or HS-25 Load

Inside Diameter, ID, in. (mm)	Minimum Cover ft. (m)	Inside Diameter, ID, in. (mm)	Minimum Cover ft. (m)
3 (75)	1 (0.3)	24 (600)	1 (0.3)
4 (100)	1 (0.3)	12 (300)	1 (0.3)
6 (150)	1 (0.3)	15 (375)	1 (0.3)
8 (200)	1 (0.3)	18 (450)	1 (0.3)
10 (250)	1 (0.3)		

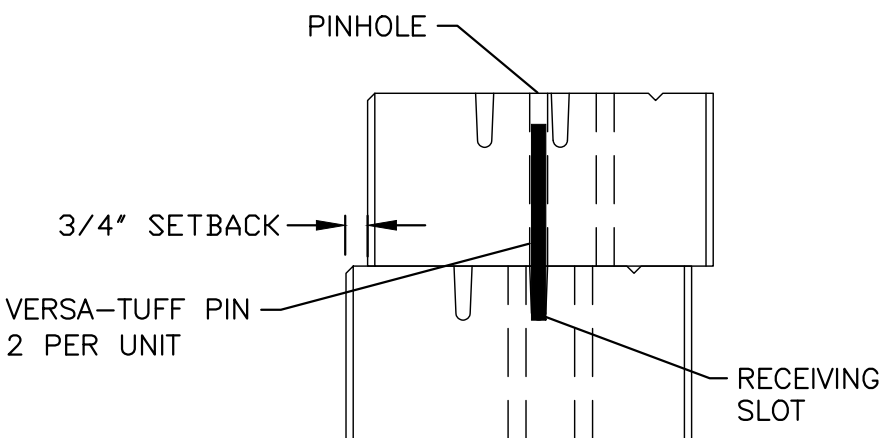
Note: Minimum covers presented here were calculated assuming Class III backfill material compacted to 90% standard Proctor density around the pipe and a minimum of 6-inches (0.15m) structural backfill over the pipe crown, as recommended in Section 5 of the Drainage Handbook, with an additional layer of compacted traffic lane sub-base for a total cover as required. In shallow traffic installations, especially where pavement is involved, a good quality compacted material to grade is required to prevent surface settlement and rutting.

4640 TRUEMAN BLVD. HILLIARD, OH 43026 (800) 821-6710 www.ads-pipe.com
ATN203 © ADS 2009



STEPPING BASE DETAIL

SCALE: NONE



PINNING DETAIL

CROSS SECTION
SCALE: NONE

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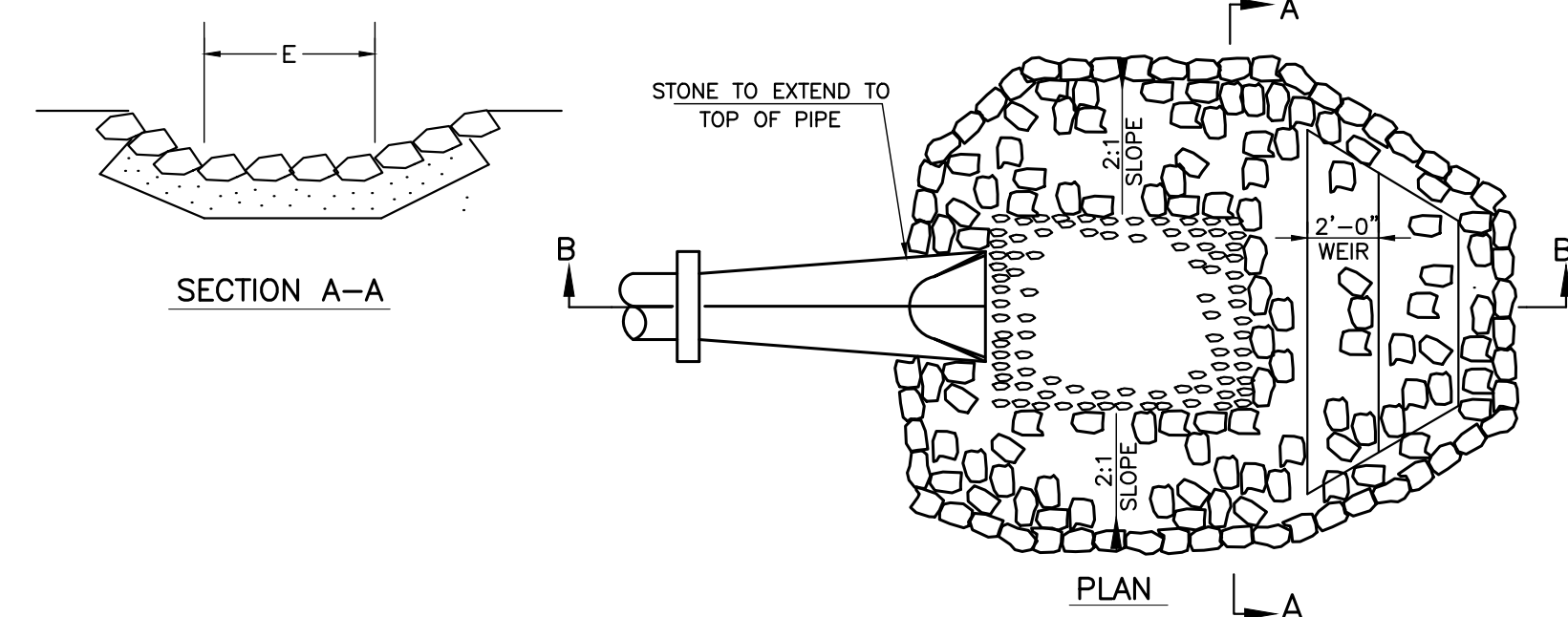
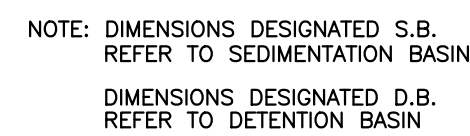
DETAILS DRAINAGE

GENERAL:

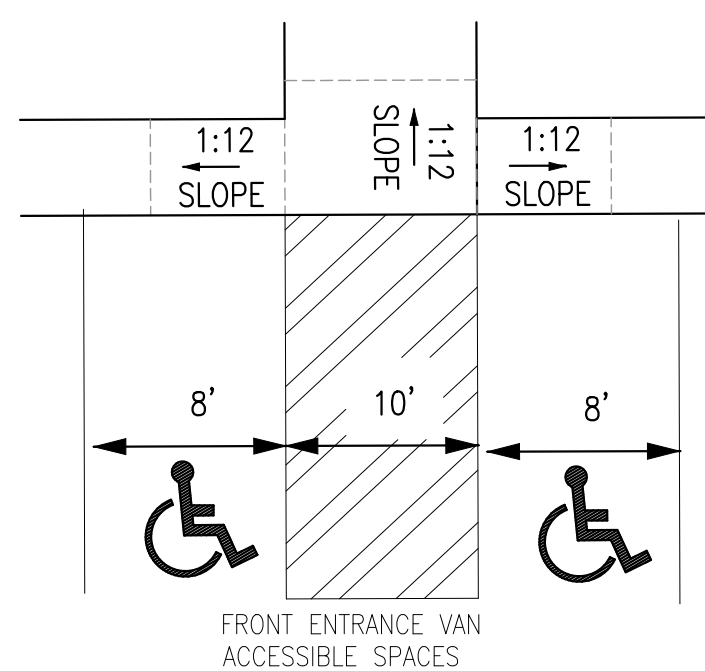
1. TOPOGRAPHIC DATA BY GRADY CONSULTING. L.L.C.
2. REFERENCE: ASSESSORS MAP 9 LOT 9, 38, 41, 42.
3. THE ACCURACY OF EXISTING UTILITY LOCATIONS, DIMENSIONS AND LINES IS FROM EXISTING INFORMATION OF RECORD AND IS NOT WARRANTED. CONTRACTOR TO VERIFY PRIOR TO INITIATING CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND OTHER UTILITY PERMITS AND VERIFY THE PROPOSED LOCATIONS OF UTILITIES.
5. CONTRACTOR SHALL NOTIFY "DIG SAFE" (1-888-344-7233) AT LEAST 4 DAYS PRIOR TO CONSTRUCTION.
6. UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE DEPARTMENT OR COMPANY. THE CONTRACTOR SHALL NOTIFY THE ROCKLAND D.P.W. AT LEAST 4 DAYS PRIOR TO CONSTRUCTION OF DRAINAGE & WATER SYSTEMS.
7. ALL STUMPS SHALL BE DISPOSED OFF SITE.

1. CONTACT THE DESIGN ENGINEER FOR APPROVAL OF ANY CONSTRUCTION PHASE CHANGES.
2. CONTRACTOR TO AVOID SOILS COMPACTION WITHIN DRAINAGE SYSTEM AREA. CONTRACTOR SHOULD AVOID MACHINERY OR VEHICLE USE OVER STORM WATER SYSTEMS.

STAKE LIMIT OF WORK CLEARING
INSTALL CONSTRUCTION ENTRANCE
INSTALL SILT SOCK EROSION CONTROL BARRIER
CLEAR AND GRUB SITE AREAS
BRING CUT AREAS TO SUBGRADE
FILL SITE TO SUBGRADE
TEMPORARILY SEED DISTURBED AREAS THAT WILL REMAIN UNFINISHED DURING CONSTRUCTION
LOAM AND SEED DRAINAGE BASIN
STAKE BUILDING PARKING LOT & DRAINAGE BASIN LOCATION
INSTALL SILT FENCE FOR STOCKPILE AREA
INSTALL FOUNDATION
INSTALL TEMPORARY DRAINAGE AREAS WHERE NECESSARY
INSTALL ELECTRIC, GAS & WATER UTILITIES
PLACE FILL MATERIAL TO BASE COURSE
INSTALL DRAINAGE STRUCTURES
COMPLETE FINISH GRADING
INSTALL ENERGY DISSIPATORS AND CONNECT ALL OUTLETS
COMPLETE BUILDING CONSTRUCTION
INSTALL/RASE MANHOLE STRUCTURES (DRAIN, SEWER) TO FINISH GRADE
LOAM & SEED DISTURBED AREAS, MULCH AND PLANT LANDSCAPE AREAS
INSTALL FINISH PAVEMENT COAT
SCHEDULE FINAL SITE INSPECTION FOR CERTIFICATION
REMOVE SEDIMENT CONTROLS



ROCKLAND PLANNING BOARD
SITE PLAN APPROVAL

A diagram of a standard octagonal stop sign. The word "STOP" is written in large, bold, black capital letters in the center of the white octagon. Above the octagon, a horizontal dimension line indicates a width of 30 in. To the right of the octagon, a vertical dimension line indicates a height of 30 in.

STOP SIGN DETAIL
(NOT TO SCALE)

SIGN LEGEND	
R1-1	
R6-1L	
R6-1R	

SITE PLAN - PRIMROSE SCHOOL
HINGHAM STREET
 ASSESSORS MAP 9 LOTS 9, 38, 41 & 42
ROCKLAND, MASSACHUSETTS

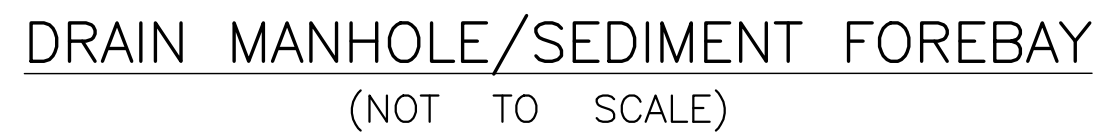
PREPARED FOR:
ADA ARCHITECTS
C/O MELISSA PLESS
17710 DETROIT ROAD
LAKEWOOD, OHIO 44107

AUGUST 4, 2020
SCALE: 1"= AS NOTED
JOB No. 20-183

GRADY CONSULTING, L.L.C.

*Civil Engineers, Land Surveyors &
Landscape Architects*
71 Evergreen Street, Suite 1, Kingston, MA 02364
Phone (781) 585-2300 Fax (781) 585-2378

1. PRECAST CONCRETE UNITS TO CONFORM TO THE MASS HIGHWAY SECTION M4.02.14
2. 4000 PSI MINIMUM COMPRESSIVE STRENGTH
3. PRECAST UNITS TO BE HS-20 LOADING
4. EXTERIOR SURFACES TO BE SEALED W/ COLD APPLIED BITUMINOUS SEALER
5. CASTINGS FOR FRAME, GRATES, COVERS & HOODS TO CONFORM TO ASTM A48, GRADE 30 MINIMUM & COATED WITH APPROVED BLACK ASPHALTUM.



1. THE CONNECTION AT THE EXISTING SEWER LINE IS TO BE AS DIRECTED BY THE D.P.W. OR SEWER DEPARTMENT
2. CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO TOWN OF ROCKLAND AND STATE OF MASSACHUSETTS STANDARDS AND REQUIREMENTS.
3. DE-WATERING OF TRENCH, IF REQUIRED, SHOULD BE CONDUCTED IN CONFORMITY WITH LOCAL REGULATIONS.
4. PRIOR TO ANY CONSTRUCTION, A STREET OPENING PERMIT AND A SEWER CONSTRUCTION PERMIT MUST BE OBTAINED BY THE CONTRACTOR FROM THE TOWN OF ROCKLAND D.P.W. (UNLESS SEWER CONNECTION IS NOT IN R.O.W.)
5. SEWER MAINS TO BE PVC SCH 40 OR AS OTHERWISE NOTED.
6. CONTRACTOR SHALL NOTIFY THE TOWN OF ROCKLAND D.P.W. AND SEWER DIVISION OF TIMING OF CONSTRUCTION
7. SURPLUS EXCAVATION MATERIAL TO BE HAULED OFF AND LEGALLY DISPOSED OF BY CONTRACTOR.
8. THE CONTRACTOR MUST INSTALL DETECTABLE "GREEN" MARKING TAPE, APPROXIMATELY ONE (1) FOOT ABOVE THE PROPOSED SEWER MAIN FOR ITS ENTIRE LENGTH.
9. THERE SHALL BE NO FIELD CHANGES TO THIS PLAN WITHOUT PRIOR NOTIFICATION OF BOTH THE DESIGN ENGINEER AND THE TOWN OF ROCKLAND SEWER DIVISION.
10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO BACKFILLING SO THAT AN "AS-BUILT" PLAN MAY BE COMPILED AND SUBMITTED TO THE ROCKLAND D.P.W.
11. ALL INTERIOR PLUMBING CHANGES SHALL BE MADE BY A LICENSED PLUMBER AND IN FULL COMPLIANCE WITH ALL STATE AND LOCAL PLUMBING CODE REQUIREMENTS.
12. CONTRACTOR TO RESTORE TO ORIGINAL CONDITION ANY UTILITIES OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION INCLUDING LOAMING AND SEEDING OF LAWN.
13. CONTRACTOR TO VERIFY EXISTING SEWER ELEVATIONS.

1. THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER, OR APPURTENANCE THERETO WHICH WOULD PERMIT THE PASSAGE OF ANY WASTEWATER OR POLLUTED WATER INTO THE POTABLE SUPPLY.
2. THE SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER MAIN PROVIDED THAT IT IS
 - A. LAID IN A SEPARATE TRENCH, AND
 - B. THE ELEVATION OF THE TOP(CROWN) OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM(INVERT) OF THE WATER MAIN.
3. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
4. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL JOINT CAST IRON PIPE AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS.



1. GRAVEL BORROW SHALL CONFORM TO
MASS HIGHWAY SPECIFICATION M1.03.0
2. CRUSHED STONE BEDDING SHALL CONFORM TO
MASS HIGHWAY SPECIFICATION M2.01.1



DATE _____

REVISIONS	
SEPTEMBER 21, 2020	RESPONSE TO PLANNING BOARD PEER REVIEW COMMENTS

PREPARED FOR:
ADA ARCHITECTS
C/O MELISSA PLESS
17710 DETROIT ROAD
LAKEWOOD, OHIO 44107

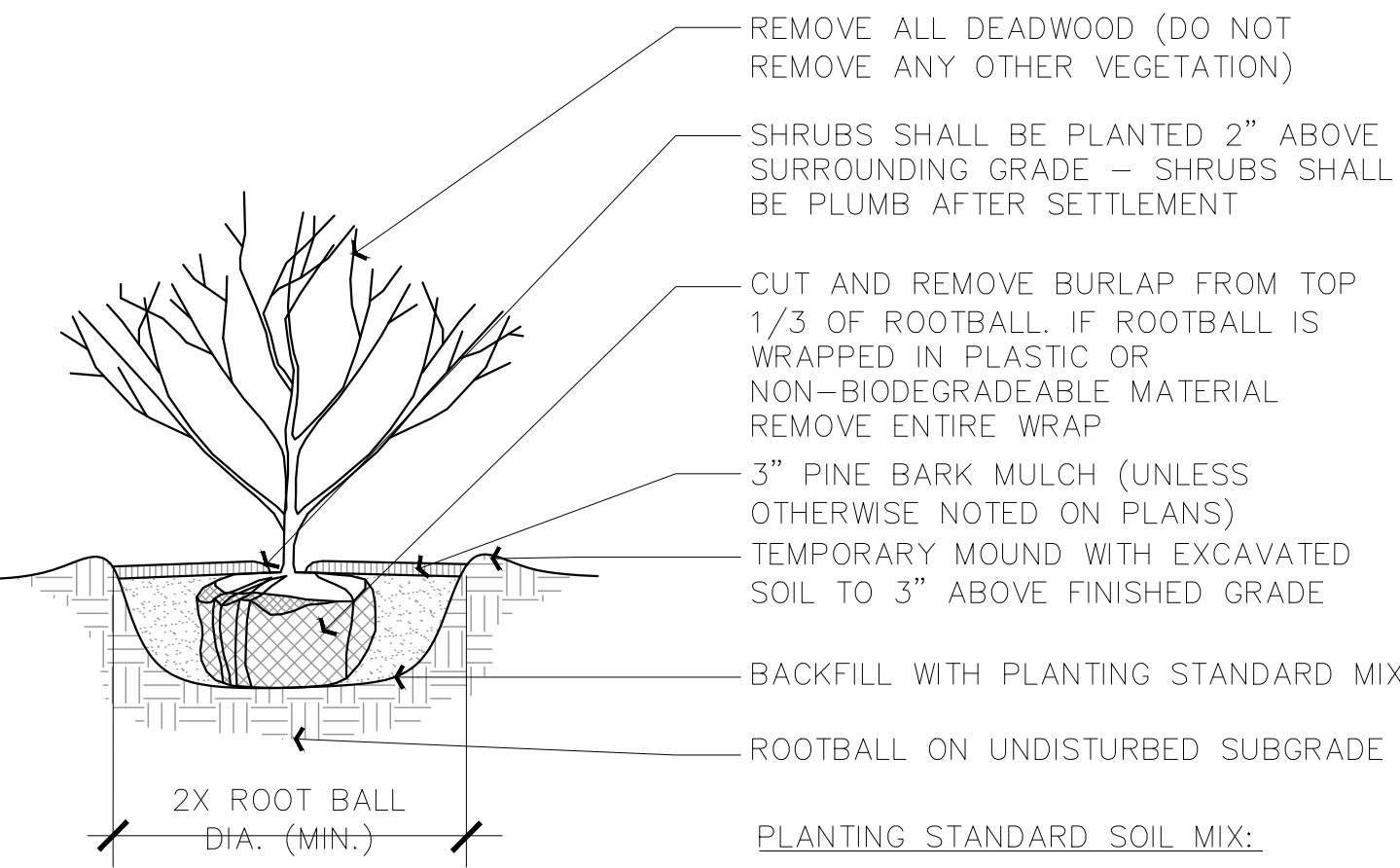
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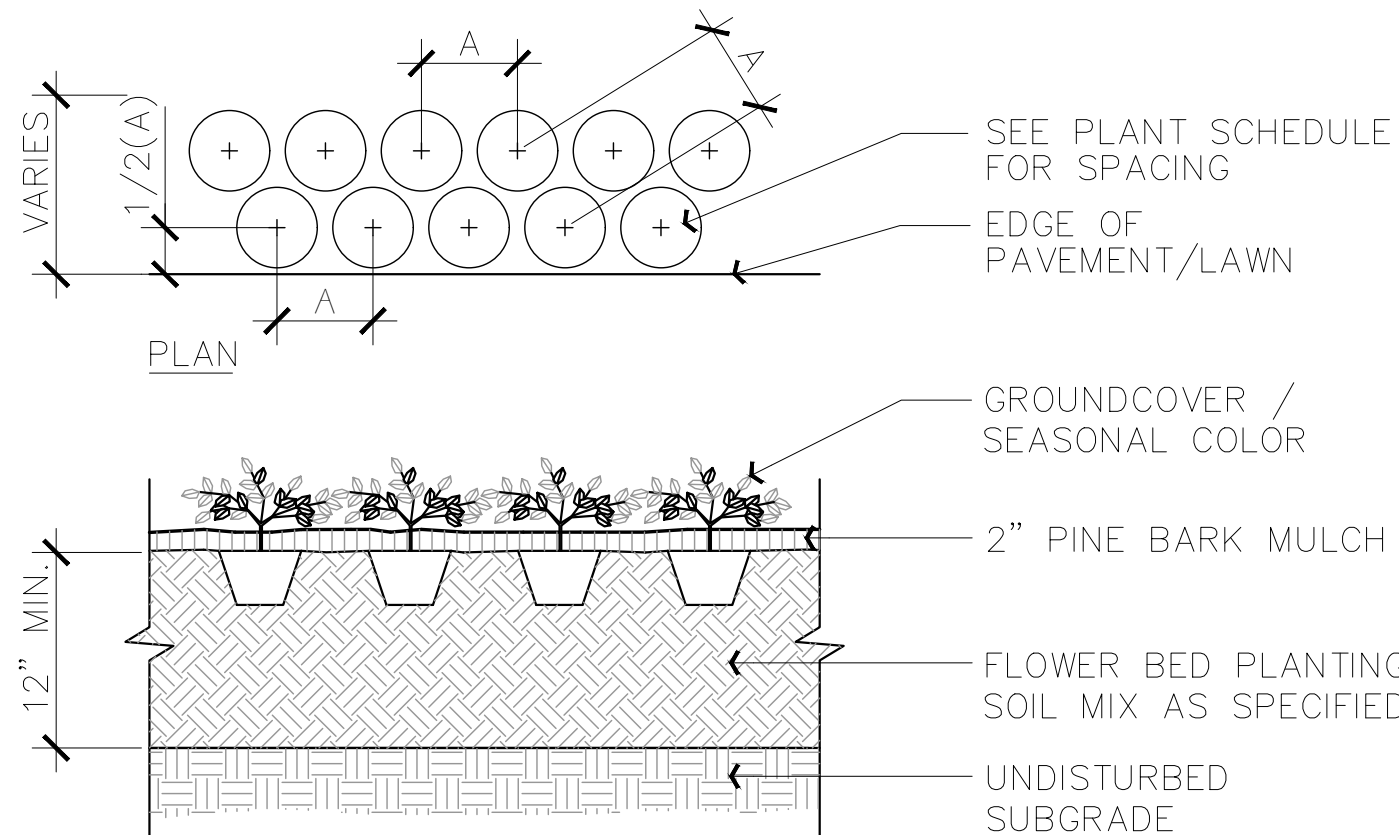




SHRUB DETAIL

1" = 1'-0"

329333.00-02



SEASONAL COLOR / PERENNIAL / GROUND COVER

1" = 1'-0"

329302.02-01

LOCATION	DEPTH	DESCRIPTION
GENERAL PLANTING BEDS	6"	1/3 PEAT – MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
FLOWER BEDS	6"	SCREENED LOAM 1/3 PEAT – MANURE BLEND LIME – PELATIZED OR GROUND (50 LB. PER 100 SF.) GROUND BONE MEAL (50 LB. PER 100 SF.) 10-10-10 INORGANIC FERTILIZER (50 LB. PER 5000 SF.)
LAWNS – SOD & SEED	6"	6" SCREENED LOAM
PITS/TREE WELLS "STANDARD MIX" FOR BACKFILL	12"	SOIL MIX 'A' – 1/3 PEAT – MANURE BLEND 1/3 HIGH ORGANIC LOAM 1/3 EXISTING SOIL
PITS/TREE WELLS "LITE WEIGHT MIX"	12"	SOIL MIX 'B' – 70% LIGHT WEIGHT SHALE 20% SAND 10% COMPOST
PITS/TREE WELLS "STRUCTURAL MIX"	12"	SOIL MIX 'C' – MIX COMPOSITION TO BE SUPPLIED BY LANDSCAPE ARCHITECT.

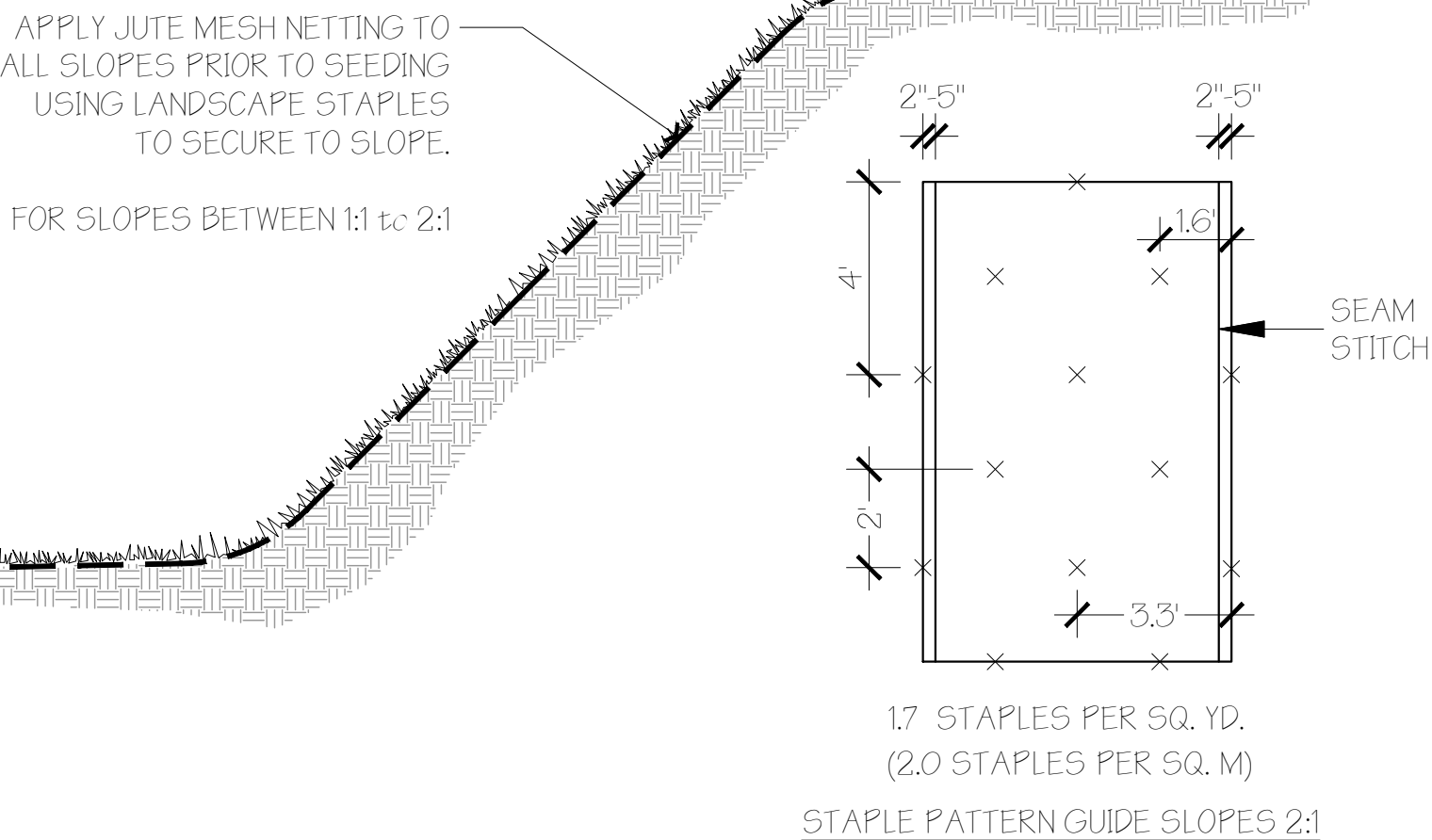
SCHEDULE OF TOPSOILS & ADDITIVES

1" = 1'-0"

329301.03-01

PLANTING NOTES

- 1) NOTIFY DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION
- 2) ALL PLANTS TO HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER SETTLEMENT AS TO THEIR ORIGINAL GRADE BEFORE DIGGING. LOCATE PLANT COLLAR TWO OR THREE INCHES HIGHER THAN PLANTING SOIL MIX TO INSURE CORRECT FINAL RELATIONSHIP.
- 3) APPLY AN APPROVED ANTI-DESSICANT TO ALL PLANTS IN LEAF AT PLANTING TIME, AND TO ALL EVERGREENS BEFORE THEIR FIRST WINTER.
- 4) FLOOD ALL PLANTS WITH CLEAN WATER TWICE IN THE FIRST 24 HOURS AFTER PLANTING. CONTRACTOR TO ARRANGE FOR ALL PLANTS TO BE PLANTED WITHIN THREE DAYS AFTER DELIVERY TO THE SITE UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 5) NEVER CUT A LEADER.
- 6) TRIM ONLY BROKEN OR DEAD BRANCHES FROM EVERGREEN PLANTS.
- 7) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS. DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- 8) ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYRMEN, INC.
- 9) ALL TREES SHALL HAVE "BEST FACE" SIDE TAGGED AT NURSERY PRIOR TO DIGGING.
- 10) ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- 11) CONTRACTOR TO STAKE TREE LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- 12) LANDSCAPE ARCHITECT TO APPROVE IN PLACE ALL SHRUBS, PERENNIALS AND VINES PRIOR TO PLANTING.
- 13) ALL TREES TO RECEIVE A MINIMUM OF THREE INCHES OF MULCH. ALL SHRUBS, VINES AND GROUND COVERS TO RECEIVE A MINIMUM OF TWO INCHES OF MULCH.
- 14) WHERE SPECIFIED, CALIPER SIZE TO BE OVERRIDING FACTOR IN TREE SELECTION.
- 15) STAKE OR GUY ALL TREES AND LARGE EVERGREEN MATERIAL.
- 16) CONTRACTOR TO PROVIDE TWO YEAR GUARANTEE ON ALL MATERIAL. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO BEGIN AT FINAL ACCEPTANCE.
- 17) ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO FINAL TOP-DRESSING AND SODDING/SEEDING.
- 18) COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER SYSTEM & LANDSCAPE LIGHTING (IF APPLICABLE).
- 19) NO PLANTING BEFORE THE ACCEPTANCE OF ROUGH GRADING.
- 20) CONTRACTOR TO PROVIDE SOIL TESTS IN AREAS DESIGNATED BY LANDSCAPE ARCHITECT IN FIELD FOR EXISTING SOILS TO DETERMINE APPROPRIATE SOIL AMENDMENTS PRIOR TO THE DISTURBANCE OF SITE.
- 21) ALL PLANTING BEDS TO BE TREATED WITH PREEN OR GREEN OR APPROVED EQUAL TO PROHIBIT WEED GERMINATION AND GROWTH PRIOR TO THE SPREADING OF MULCH.
- 22) ALL PERENNIALS ARE TO BE PLANTED INTO DAMP SOIL.
- 23) PLANT LIST: A COMPLETE LIST OF PLANTS INCLUDING A SCHEDULE OF QUANTITIES, SIZES, TYPES AND NAMES IS INCLUDED IN THIS SET OF DRAWINGS. IN THE EVENT OF DISCREPANCIES BETWEEN QUANTITIES OF PLANTS IN THE PLANT LIST AND THE QUANTITIES SHOWN ON THE DRAWINGS, THE PLANT LIST SHALL GOVERN. WHEN MULTIPLE PLANT SPECIES ARE LISTED IN ONE PLANT CATEGORY, THE GOAL IS TO PROVIDE THE BEST PLANTS AVAILABLE AT THE TIME OF INSTALLATION. THE LANDSCAPE ARCHITECT SHALL SELECT OR COORDINATE THE SELECTION OF THE APPROPRIATE PLANTS AT LOCAL NURSERIES. GRADY CONSULTING HAS THE RIGHT TO REJECT ANY PLANT THAT DOES NOT MEET THE SPECIFICATIONS LISTED IN THE PLANT TABLE.
- 24) PLANT SUBSTITUTION ARE NOT ALLOWED UNLESS APPROVED BY LANDSCAPE ARCHITECT.
- 25) ALL DISTURBED AREAS TO BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS (REFER TO ENGINEER'S SOIL STABILIZATION AND EROSION CONTROL PLAN FOR FURTHER INFORMATION).
- 26) CONTRACTOR SHALL (IF APPLICABLE) REVIEW WITH CLIENT ALL IRRIGATION PROCEDURES AND PROCESSES (i.e. TIMERS, ZONES AND ALL OTHER ITEMS INVOLVED W/ THE IRRIGATION SYSTEM).



JUTE MESH SLOPE

1" = 1'-0"

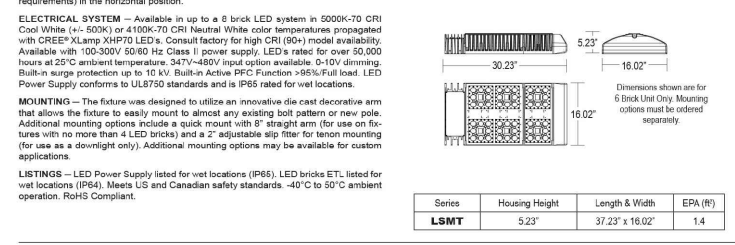
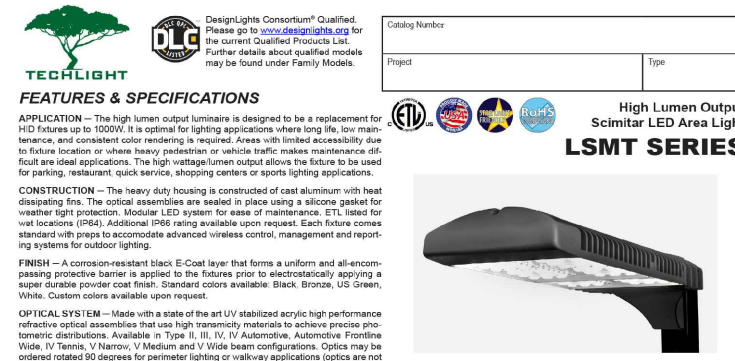
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XGRASS | INNOVATIVE TURF SOLUTIONS

XGRASS PRIME

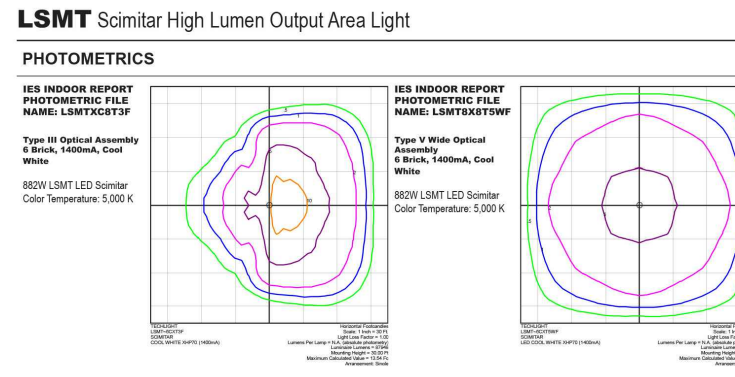
SPECIFICATIONS:

Face Weight: 13 oz
Pile Height: 1.5"
Color: Summer Blend
Thatch: Green
Secondary Backing: Duraflo, 10.0 oz/yd ²
Fiber Type: Omega 5, 100% Polyethylene
Fiber Mass: 10800 Denier, 7300 Denier Thatch
Tufting Gauge: 1/4"
Primary Backing: 2.1 oz/yd ² Stabilized Multi-Layer Woven Polypropylene
Non Woven Scrim: 2.7 oz/yd ²
Total Weight: 72.7 oz/yd ²



Ordering Information
LSMT
Ordering Information
Ordering Information

LSMT	Ordering Information
Ordering Information	Ordering Information



EPA RATINGS (R)
EPA RATINGS (R)
EPA RATINGS (R)

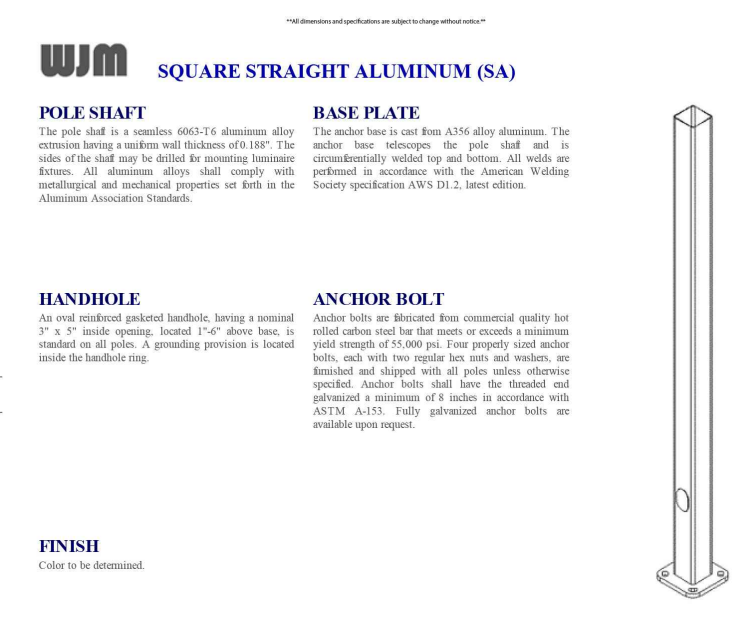


LSMT Scimitar High Lumen Output Area Light
LSMT Scimitar High Lumen Output Area Light
LSMT Scimitar High Lumen Output Area Light

ADDITIONAL FIXTURE DIMENSIONS
ADDITIONAL FIXTURE DIMENSIONS
ADDITIONAL FIXTURE DIMENSIONS



LSMT	Ordering Information
Ordering Information	Ordering Information



WJM model number
WJM model number
WJM model number

ROCKLAND PLANNING BOARD

SITE PLAN APPROVAL

DATE _____

REVISIONS
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SITE PLAN - PRIMROSE SCHOOL

HINGHAM STREET

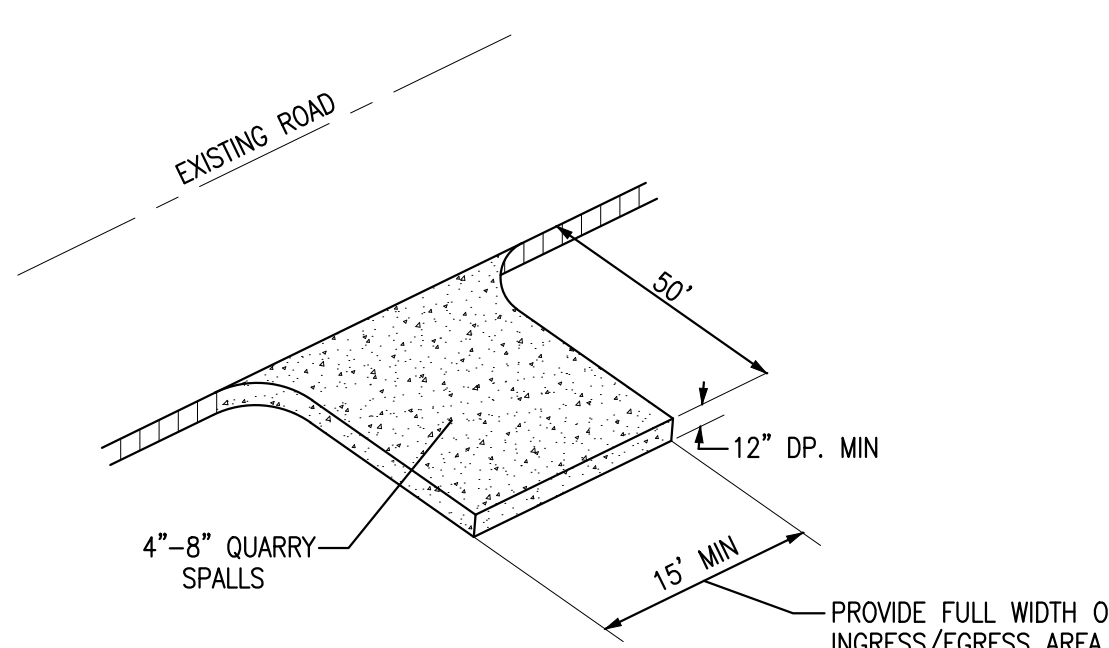
ASSESSORS MAP 9 LOTS 9, 38, 41 & 42

ROCKLAND, MASSACHUSETTS

PREPARED FOR:
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C/O MELISSA PLESS
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CONSTRUCTION ENTRANCE
(NOT TO SCALE)

INSTALL RAISED ENTRANCE BERM AT
EDGE OF PAVEMENT TO RETAIN
ROADWAY DRAINAGE IN ROADWAY
(SEE DETAILS SH 8)

ASSESSORS PARCEL 08-0-039
#850 HINGHAM STREET
N/F ROCKLAND HINGHAM REALTY LLC

ASSESSORS PARCEL
08-0-038
#10 RESERVOIR PARK
DRIVE
N/F FARDY THOMAS G
TRS

ASSESSORS PARCEL 008-0-048
#831 HINGHAM STREET
N/F ARAUJO RUI C & JANET L

ASSESSORS PARCEL 09-0-003
#900 HINGHAM
N/F HINGHAM STREET LLC

ASSESSORS PARCEL 09-0-039
#851 HINGHAM STREET
N/F ROCKLAND REAL EST INVS CO LLC

ASSESSORS PARCEL 10-0-051
N/F TOWNS OF ROCKLAND & ABINGTON
JOINT WATER WORKS

BENCHMARK
DH/CB (FND)
ELEVATION = 138.078
(NAVD 88 DATUM)

FOR REGISTRY USE ONLY

ROCKLAND PLANNING BOARD
SITE PLAN APPROVAL

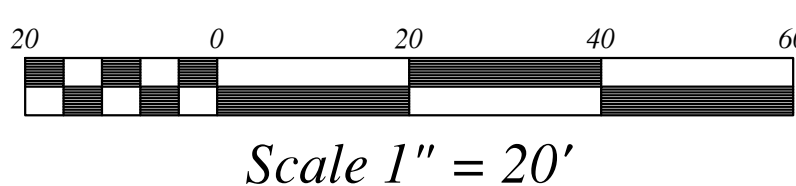
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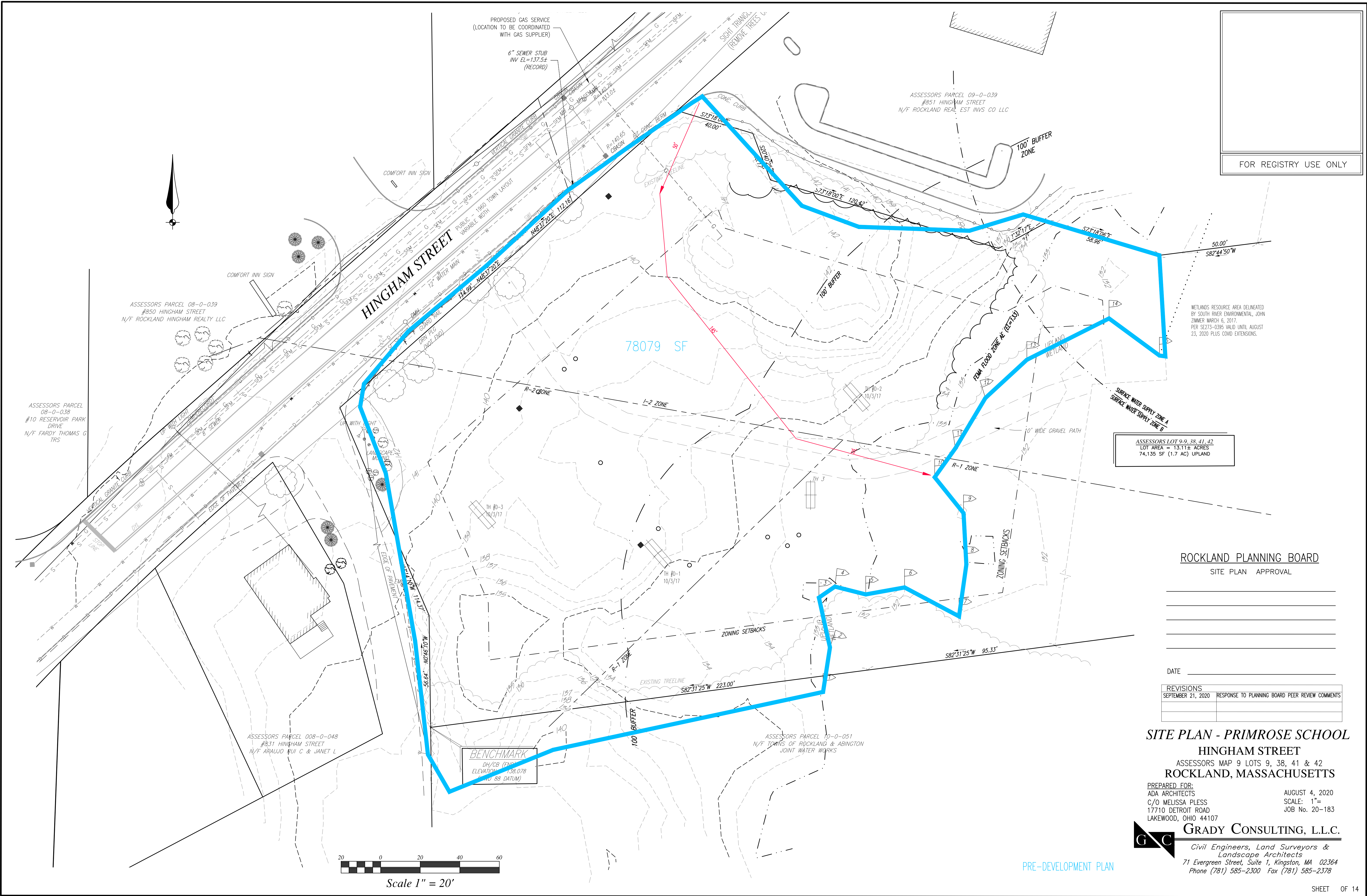
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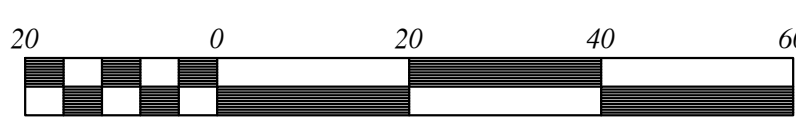
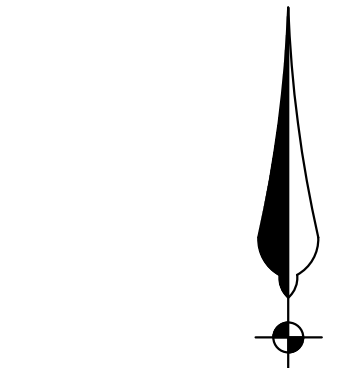
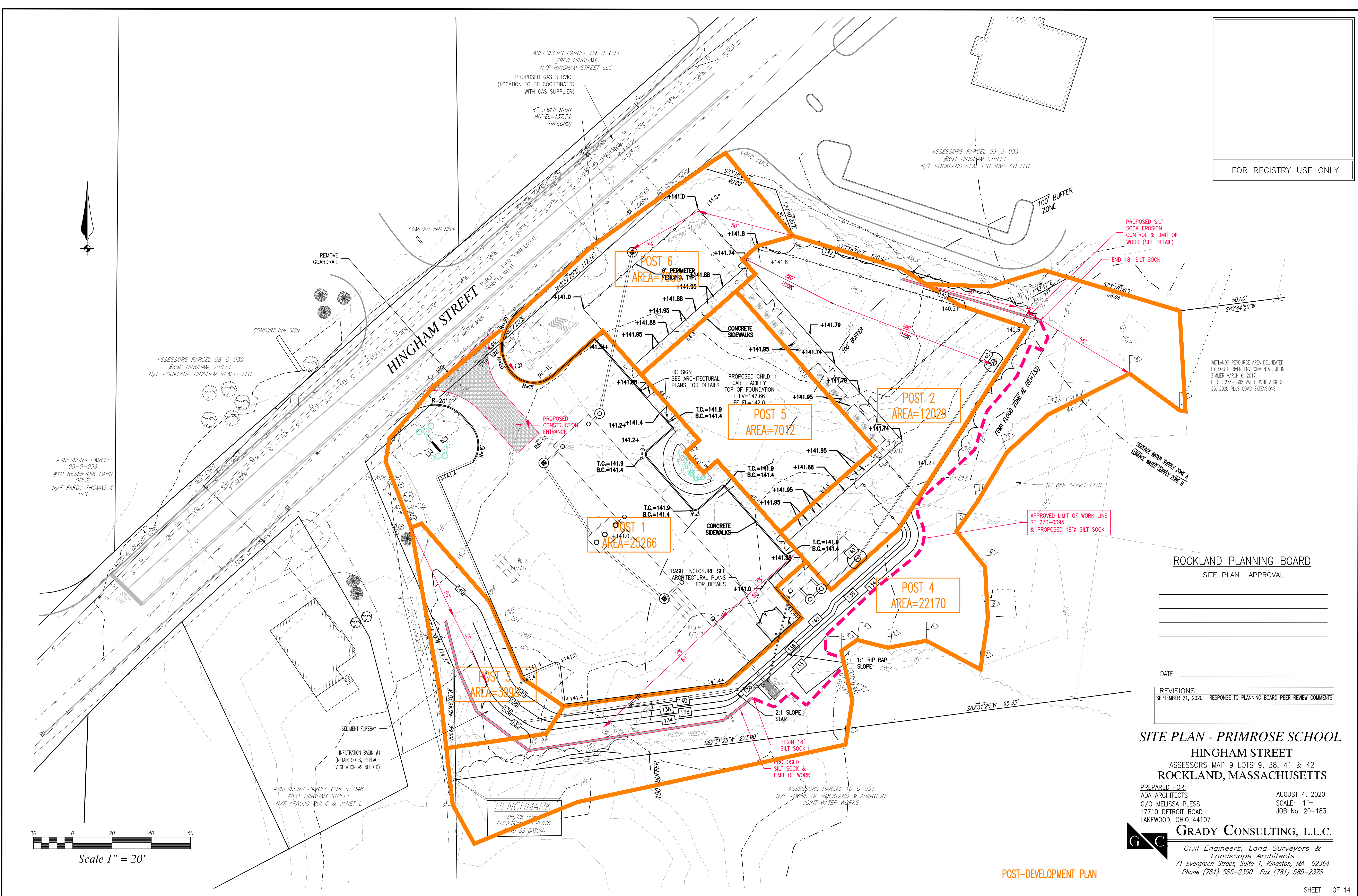
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ROCKLAND PLANNING BOARD	
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POST-DEVELOPMENT PLAN